

DOOR SCHEDULE

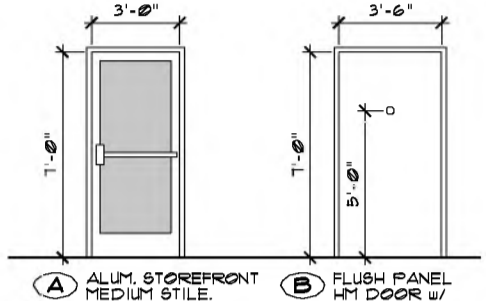
NO	DR TYPE	SIZE: WIDTH, HT THK.	FRM TYPE	FIRE RATING	HRD'W SET	REMARKS
01	A	3'-0" x 7'-0" x 1 3/4"	AL	N/A	CYL.	STOREFRONT
01a	B	3'-6" x 7'-0" x 1 3/4"	HM	N/A	LOCKSET	-
02	A	3'-0" x 7'-0" x 1 3/4"	AL	N/A	CYL.	STOREFRONT
02a	B	3'-6" x 7'-0" x 1 3/4"	HM	N/A	LOCKSET	-
03	A	3'-0" x 7'-0" x 1 3/4"	AL	N/A	CYL.	STOREFRONT
03a	B	3'-6" x 7'-0" x 1 3/4"	HM	N/A </tr		

DOOR HARDWARE NOTES:

- ALL HARDWARE TO MEET ADA & STATE ACCESSIBILITY STANDARDS.
- ALL INTERIOR HARDWARE TO BE EQUAL TO SCHLAGE AL SERIES NEPTUNE w/ LEVER HANDLES. FINISH TO BE SELECTED BY OWNER.
- PROVIDE WIDE ANGLE PEEP HOLE AT 60" AFF.
- COLOR TO ANODIZED ALUM STOREFRONT SHALL BE SELECTED BY OWNER.

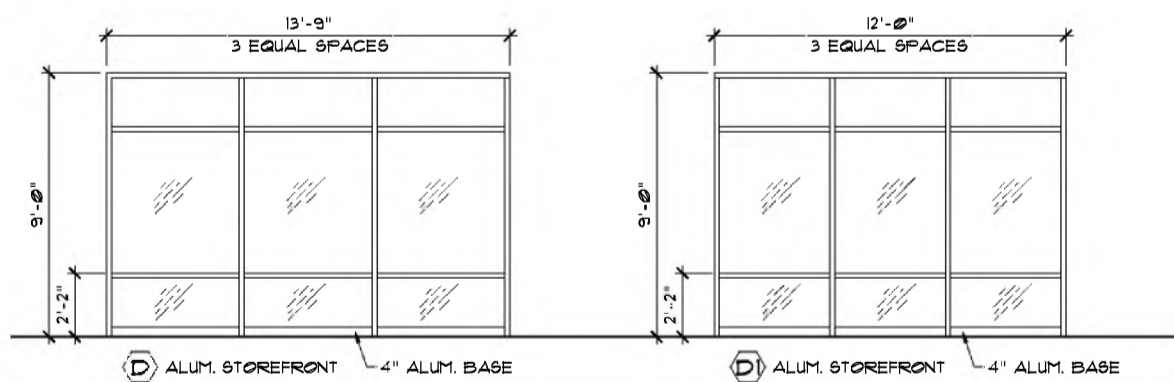
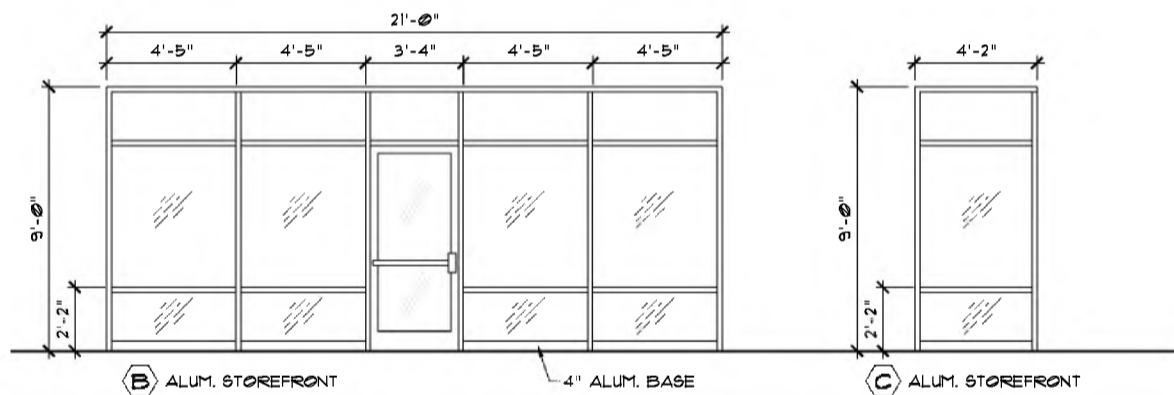
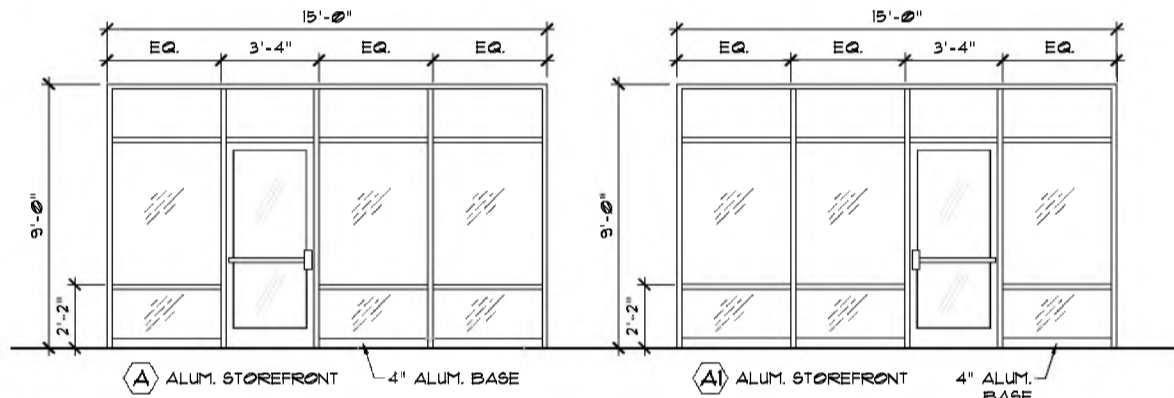
HARDWARE SCHEDULE:

GENERAL CONTRACTOR SHALL PROVIDE A HARDWARE SCHEDULE SUBMITTAL FOR ARCHITECT'S REVIEW AND APPROVAL.



DOOR TYPES

SCALE: 1/4" = 1'-0" - SHADING INDICATES TEMPERED GLASS

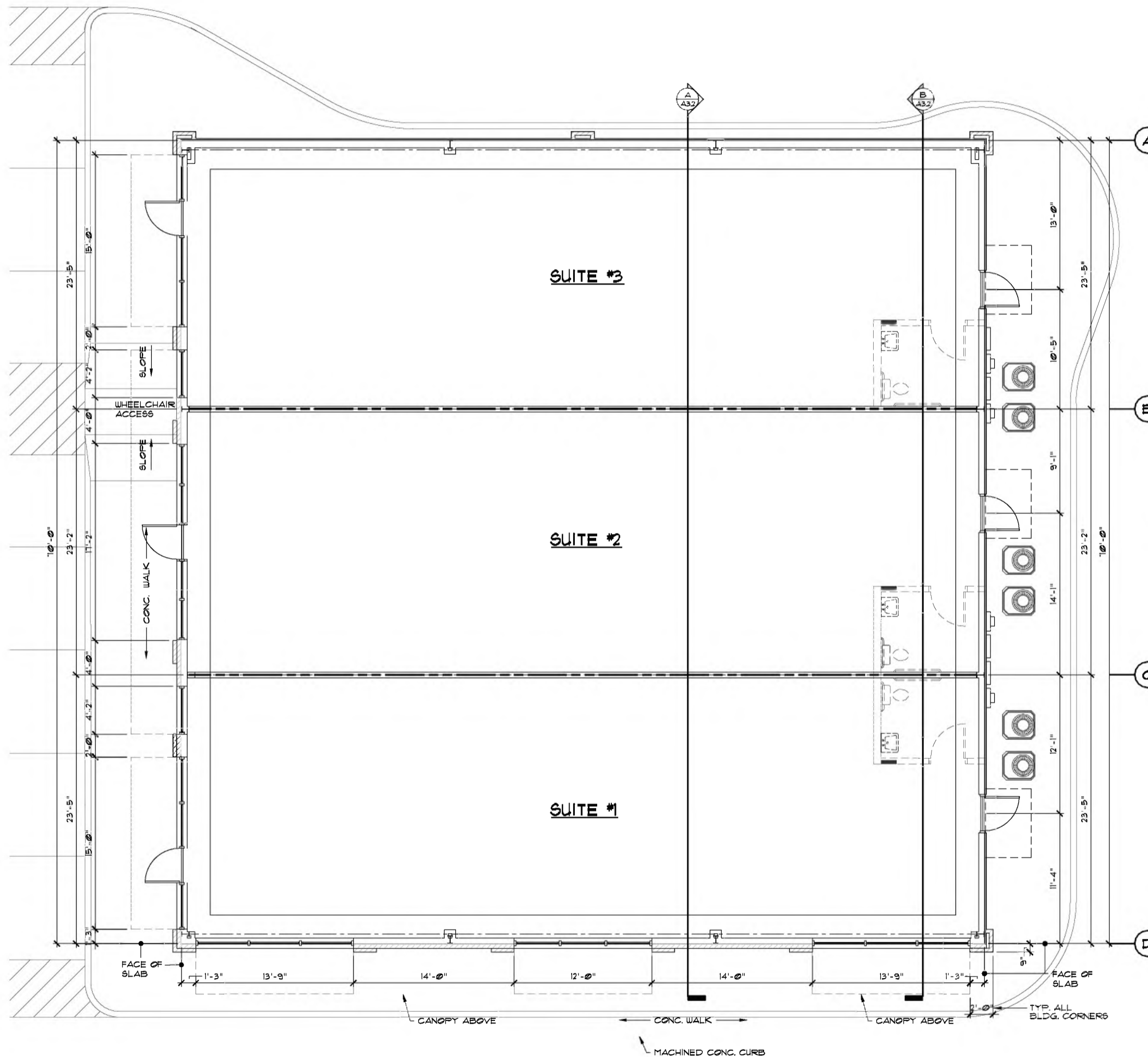


ALUM. FRAME TYPES

ANODIZED FRAME COLOR TO BE SELECTED BY OWNER
SCALE: 1/4" = 1'-0" PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

INTERIOR FINISH:

- FLOOR: 4" PERIMETER CONC. SLAB w/ HARD TROWEL FINISH. (REFER TO STRUCT. DUGS)
- WALL BASE: N/A FOR EXPOSED STUDS.
- EXT. WALLS: 6" IBSA STRUCT. STEEL STUDS, 16" O.C. w/ HORIZ. BRIDGING. (PROVIDE R-19 FIBERGLASS BATT INSULATION FULL HT.)
- CEILING AND CEILING HEIGHT: NONE (EXPOSED STRUCTURE)
- DEMISING WALL: 6" IBSA STL. STUDS, 16" O.C. w/ R-19 FIBERGLASS BATT INSULATION. FINISH EA. SIDE w/ TWO LAYERS OF 5/8" TYPE X GYPSUM BOARD, FULL HEIGHT, TAPE AND FINISH ALL JOINTS. (APPLIED FINISH T.B.D.) INSTALL 4" VINYL/RUBBER BASE. COLOR T.B.D.
- 2 HR INTERIOR WALL: SAME AS ABOVE.



PLAN - OVERALL FLOOR LAYOUT

SCALE: 3/16" = 1'-0"

NOTE - ALL DEMISING WALLS, CEILING GRIDS/TILES, LAY-IN FIXTURES, AND HVAC SYSTEMS FOR DESIGN CALCULATIONS, PERMITTING, AND PRICING - OWNER'S OPTION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK AND CORRECT ALL DIMENSIONS AND REQUIRED MINIMUM FLOOR ELEVATIONS. VERIFY ACCURACY OF ALL CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE USE OR REUSE OF THESE DRAWINGS WITHOUT WRITTEN APPROVAL BY ARCHITECT/OWNER IS PROHIBITED.

G. MARK PEPE ARCHITECT P.C.
307 W. ADAMS ST.
DOTHAN, AL
TELEPHONE NO. (334) 712-9721
FAX NO. (334) 699-2026
LICENSE # 4496

OWNER PATRICK JONES
1216 PG PARKWAY
PANAMA CITY BEACH, FL 32413
TELEPHONE NO. 850-224-2500
EMAIL patrick@talcor.com

NORTH OUT PARCEL 1 - EXISTING
A SHELL BUILDING DEVELOPMENT FOR
NAI - TALCOR
135 SOUTH TYNDALL PARKWAY, CALLAWAY, FLORIDA 32404

NO.	REVISIONS

FOR PERMITS	-
FOR PRICING	-
CLIENT REVIEW	-
DRAWN BY:	JUMMP
DATE:	9-17-24
PROJECT:	7-15-24
SHEET:	1

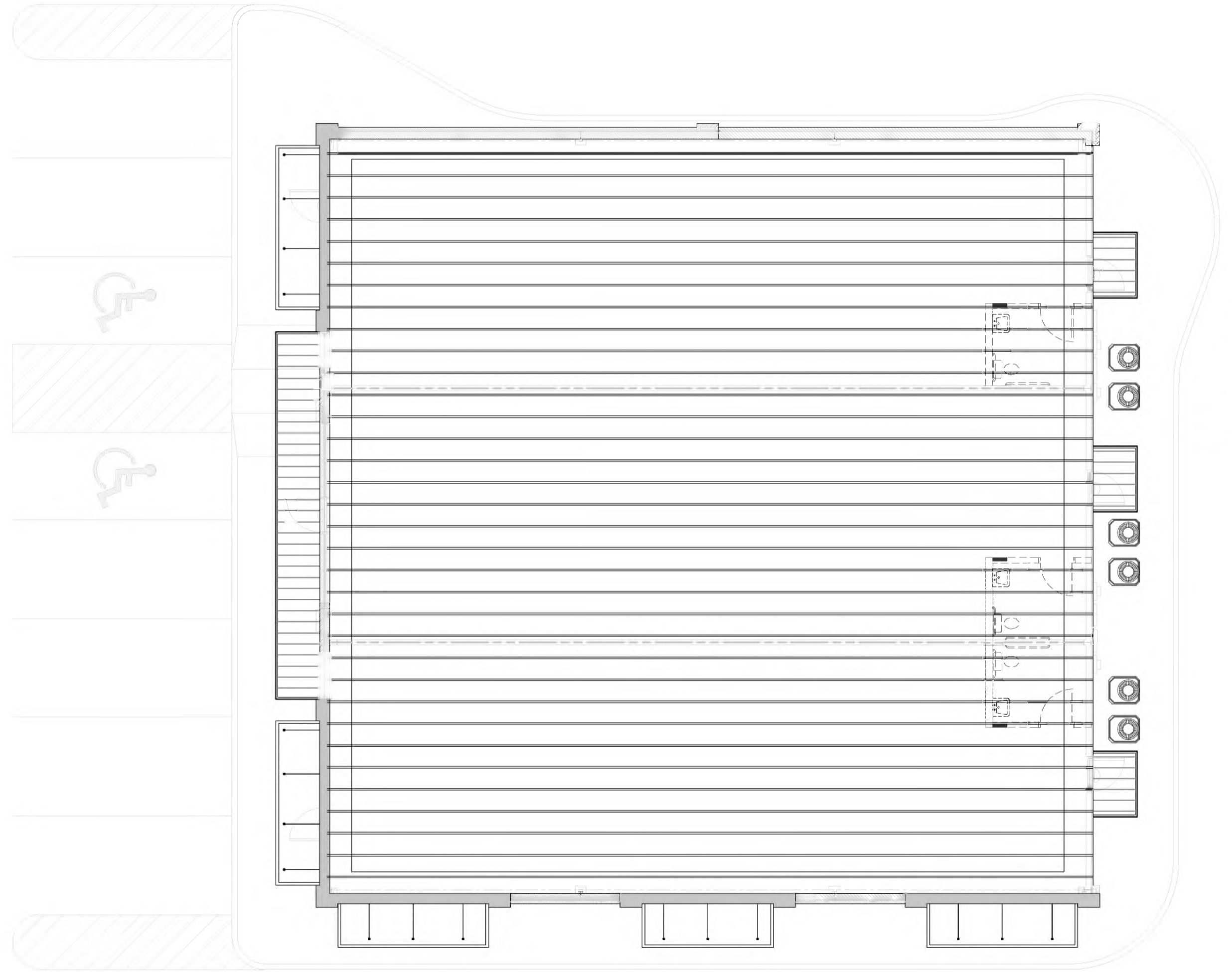
ALL 1 OF 1
S66 13 OF 50
JOB No. 24170

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**A SHELL BUILDING DEVELOPMENT FOR
NAI - TALCOR**
136 SOUTH TYNDALL PARKWAY, CALLAWAY, FLORIDA 32404

NORTH OUT PARCEL 1 - EXISTING



PLAN - ROOF LAYOUT
SCALE: 3/16" = 1'-0"

NO.	REVISIONS

FOR PERMITS	-
FOR PRICING	-
CLIENT REVIEW	-
DRAWN BY:	JUMP
PLotted DATE	9-17-24
PROJ. DATE	9-15-24
SHEET	1
A14	1
SER. 16	OF 30
JOB No.	24120

IT IS THE RESPONSIBILITY OF THE CALCULATOR TO VERIFY, CHECK AND CORRECT ALL DIMENSIONS AND REQUIRED MINIMUM FLOOR ELEVATIONS. NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE USE OR REUSE OF THESE DRAWINGS WITHOUT WRITTEN APPROVAL BY ARCHITECT/OWNER IS PROHIBITED.

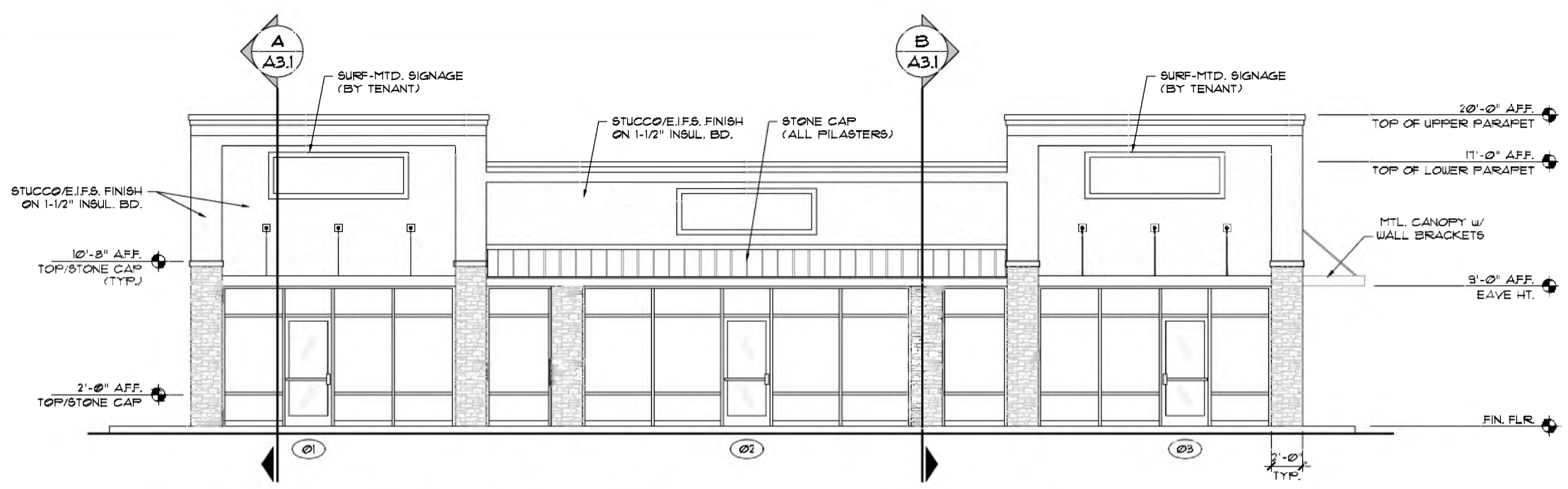
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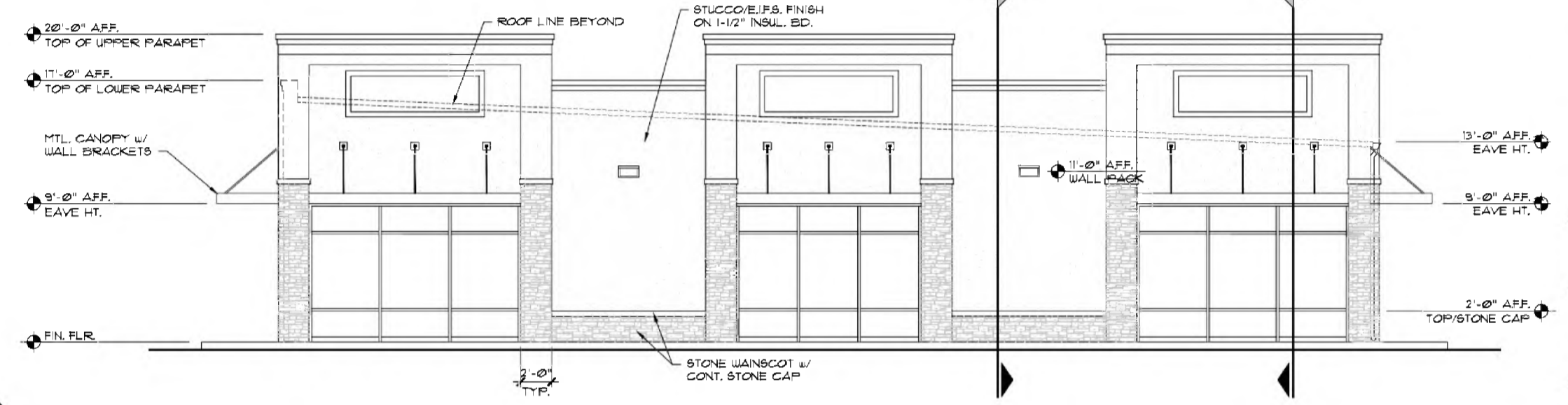
NORTH OUT PARCEL 1 - EXISTING
 A SHELL BUILDING DEVELOPMENT FOR
 NAI - TALCOR
 135 SOUTH TYNDALL PARKWAY, CALLAWAY, FLORIDA 32404

REVISIONS	

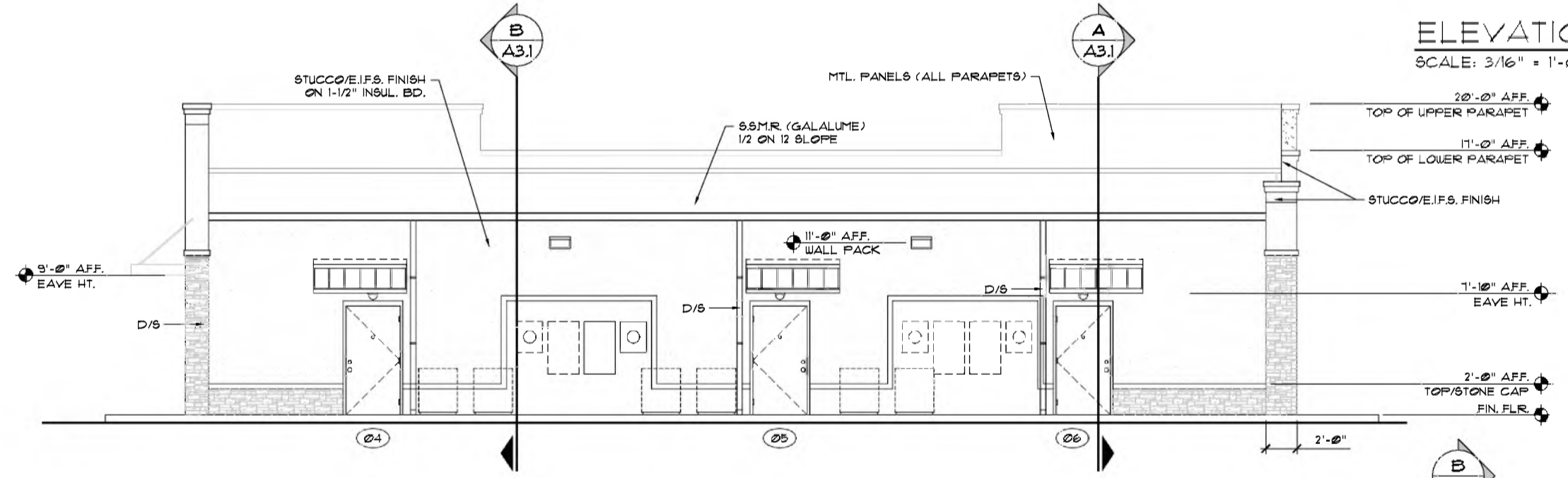
FOR PERMITS	
FOR PRICING	
CLIENT REVIEW	
DRAWN BY:	JW/MP
PLOT DATE	9-17-24
PROJ. DATE	9-15-24
SHEET	A2.1
JOB No.	24190



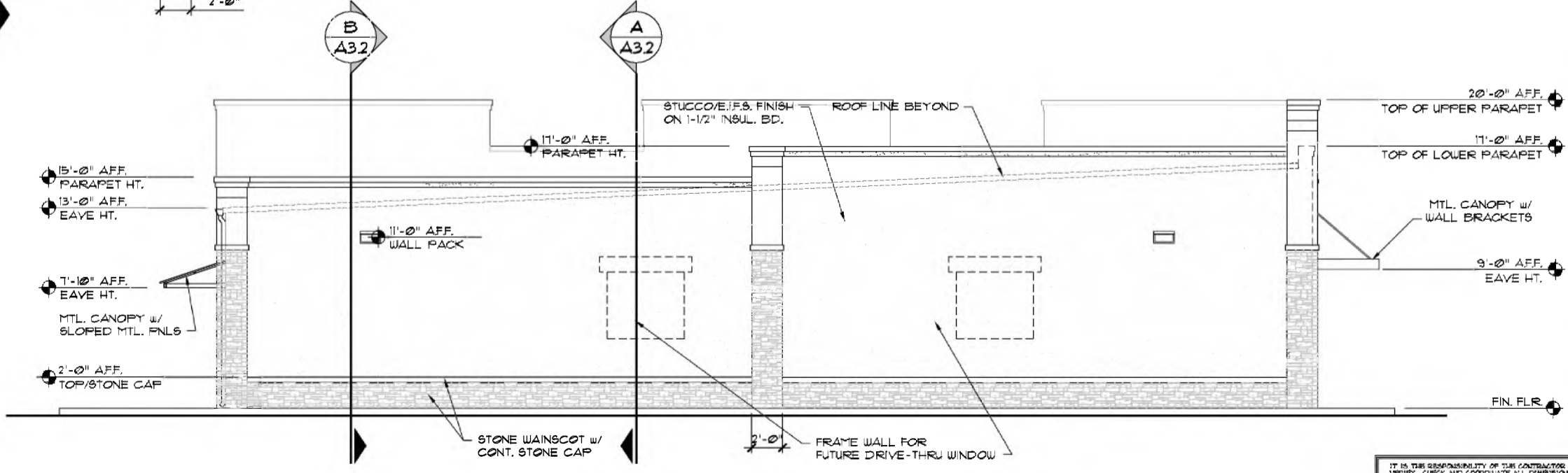
ELEVATION - RIGHT SIDE FACADE (FACING NORTH)
 SCALE: 3/16" = 1'-0"



ELEVATION - FRONT FACADE (FACING TYNDALL PKWY)
 SCALE: 3/16" = 1'-0"



ELEVATION - REAR FACADE (FACING SOUTH)
 SCALE: 3/16" = 1'-0"



ELEVATION - LEFT SIDE FACADE (FACING EAST)
 SCALE: 3/16" = 1'-0"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK AND CORRECT ALL DIMENSIONS AND SCHEDULES. ALL DIMENSIONS ARE TO COMPLETION UNLESS OTHERWISE NOTED. THE JOB OR BASIS OF THESE DRAWINGS WITHOUT WRITTEN APPROVAL BY ARCHITECT/OWNER IS PROHIBITED.