

**OAKRIDGE
ELEMENTARY
SCHOOL
RESTROOM
RENOVATIONS**

19700 Drawn By: JH
Project Code Checked By: DF

31 DECEMBER 2024
Date

**CONTRACT
DOCUMENTS**

Revisions

CAMPUS KEY PLAN

2 PARTIAL SITE PLAN
A0.1 1" = 30'-0"

1 CAMPUS KEY PLAN
A0.1 1" = 30'-0"

Tallahassee Florida

A0.1

DEMOLITION NOTES:

ELEMENTS THAT ARE DASHED ARE TO BE REMOVED FROM THE PROJECT.

REMOVE NON-LOAD BEARING PARTITION WALLS. DISCONNECT ALL ELECTRICAL DEVICES WITHIN THE WALLS AND REMOVE OR TERMINATE CIRCUITS AT A JUNCTION BOX.

REMOVE DOOR, DOOR FRAME AND HARDWARE. DISCONNECT AND REMOVE ELECTRONIC LOCKS/ALARM.

AS REQUIRED, REMOVE FLOOR FINISH, PATCH AND REPAIR CONCRETE TO RECEIVE NEW FLOORING PER SUBSTRATE REQUIREMENTS FOR CERAMIC TILE. SEE FINISH FLOOR PLAN AND ROOM FINISH SCHEDULE. PREPARE FLOOR FOR FUTURE FINISH BY PATCHING HOLES GREATER THAN 1/4" DEEP X 1/2" ACROSS AND GRINDING DOWN HIGH SPOTS. PATCH INTERSECTIONS AT WALLS TO REMAIN TO MATCH EXISTING.

CONCRETE - EXERCISE DUE CAUTION IN CUTTING AND PATCHING, CHIPPING OR GENERAL CONCRETE PLACEMENT SO AS NOT TO DEFACE THAT PORTION OF THE EXISTING STRUCTURE WHICH IS TO REMAIN.

MASONRY - IN TOOTHING OR CUTTING BACK FOR JOINERY TO OR CONTINUING AN EXISTING MASONRY SURFACE, EXERCISE CARE SO AS NOT TO WEAKEN STRUCTURALLY THAT PORTION OF THE STRUCTURE WHICH IS TO REMAIN. DO NOT SANDBLAST WOOD, CONCRETE, OR BRICK.

STRUCTURAL STEEL AND CARPENTRY - IN THE COURSE OF ALTERATION WORK SHOULD THE CONTRACTOR ENCOUNTER, IN EXPOSING FORMERLY COVERED FRAMING, ANY UNDESIRABLE STRUCTURAL DEFECT WHICH MIGHT JEOPARDIZE ANY PART OF THE EXISTING BUILDING OR THE NEW WORK, THE CONTRACTOR SHALL SHORE UP OR OTHERWISE SUPPORT THE EXPOSED DEFECT FOR EASE OF INSPECTION BY OWNER'S REPRESENTATIVE OR ARCHITECT WHO WILL DIRECT FURTHER REPAIR.

TEMPORARY SHORING: IF APPLICABLE, PROVIDE ANY TEMPORARY SHORING, CRIBBING OR UNDERPINNING AS MAY BE REQUIRED OR DIRECTED BY THE ARCHITECT AT ANY TIME AND IN ANY PORTION OF THE ALTERATION WORK FOR THE DURATION OF SUCH WORK.

PAINTING - ANY PITTED, CHIPPED, FLAKED, OVERLY THICKENED OR OTHERWISE DAMAGED EXISTING PAINT SURFACES ENCOUNTERED SHALL BE SANDED, CHIPPED OR OTHERWISE REMOVED DOWN TO ORIGINAL SURFACE AND REPAIRED. DO NOT SANDBLAST, OR USE POWER SANDER OR GRINDER.

DEMOLITION WORK - WITH THE EXCEPTION OF ANY SALVABLE ITEMS, AS DIRECTED TO BE RETAINED BY OWNER, ALL REMOVED STRUCTURES AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR WHO SHALL PROMPTLY REMOVE THEM FROM THE PREMISES. NO SUCH ITEMS SHALL BE STORED OR ACCUMULATED ON THE PREMISES.

NOTE: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE BID AND PRIOR TO BEGINNING WORK. IF ANY DISCREPANCIES ARE DISCOVERED NOTIFY THE ARCHITECT.

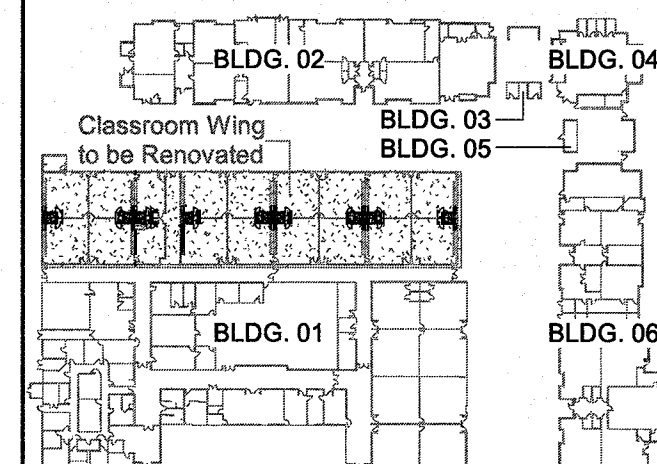
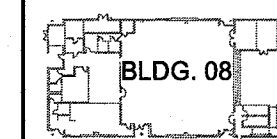
SEQUENCE OF ALTERATION WORK: IN THE EVENT THAT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY OWNER, THE CONTRACTOR SHALL ARRANGE A CONFERENCE WITH THE OWNER FOR THE PURPOSE OF ESTABLISHING ANY SPECIAL SCHEDULING BEFORE ANY SUCH WORK IS BEGUN.

PROTECTIONS: PROVIDE ANY SPECIAL BARRICADING AND MAINTAIN ANY REQUIRED LIGHTS, WARNINGS AND DIRECTIONAL SIGNS AND OTHER PROTECTIONS NEAR AND ABOUT THE SITE OF ALTERATION WORK AS MAY BE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION. BY ANY NECESSARY MEANS PROTECT ANY SURROUNDING ADJACENT SITES, STRUCTURES, PROPERTIES AND UTILITIES. MAINTAIN ALL SAFETY MEASURES UNTIL REMOVAL IS DIRECTED BY OWNER'S REPRESENTATIVE OR ARCHITECT. INDEFINITE UNDERGROUND UTILITIES OR OTHER SERVICES AS MAY BE UNCOVERED SHALL NOT BE DISTURBED BUT BROUGHT TO THE ARCHITECT'S ATTENTION FOR DIRECTION AS TO HOW TO PROCEED.

ADDITIONAL TEMPORARY FACILITIES: ANY ADDITIONAL TEMPORARY FACILITIES OR SERVICES AS MAY BE REQUIRED BY ANY SPECIAL NECESSITIES OF ALTERATION WORK SHALL BE PROVIDED BY THE CONTRACTOR OUTSIDE OF HOUSE DURING ALL HOURS SUCH WORK IS IN PROGRESS. PROVIDE PORTABLE TOILET FACILITIES OUTSIDE AS REQUIRED.

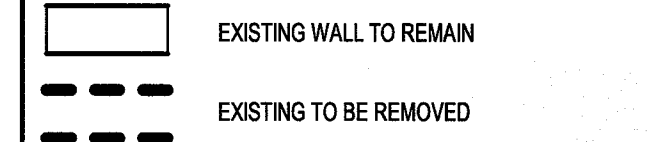
SPECIAL PERMITS: SECURE ANY AND ALL PERMITS TO DEMOLISH AND REHABILITATION AS MAY BE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION OVER SUCH WORK.

RETURN ALL EXISTING TOILET ACCESSORIES TO OWNER: TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSER AND SOAP DISPENSERS.



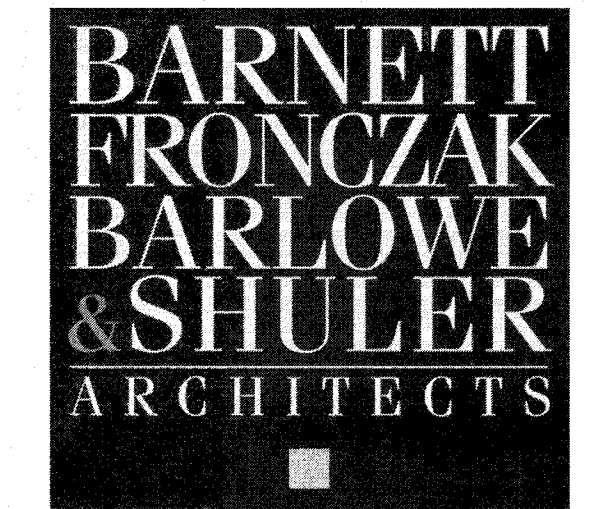
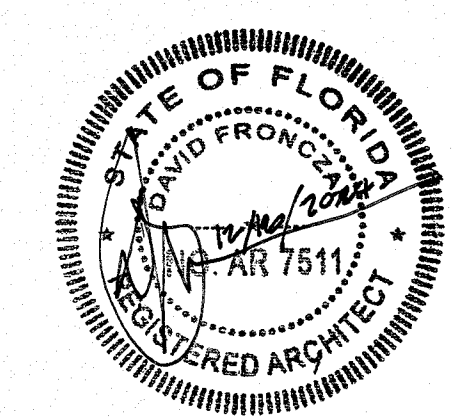
KEY PLAN

DEMOLITION LEGEND



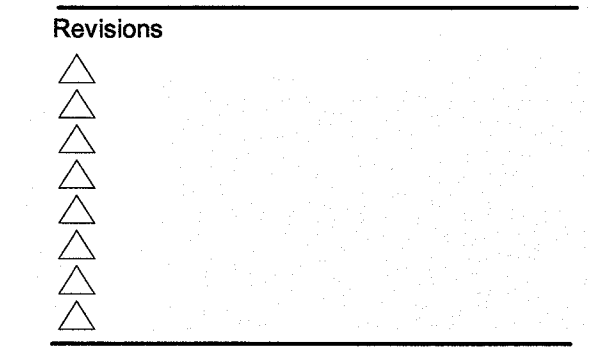
DEMOLITION KEYNOTES:

- 1 REMOVE EXISTING CMU WALL. (REMOVE ANY ELEC. OR SURFACE DEVICES IN OR ON EXISTING WALL) PREP EXISTING FLOOR FOR NEW FLOOR FINISH.
1a REMOVE PORTION OF EXISTING STUD WALL. (REMOVE ANY ELEC. OR SURFACE DEVICES IN OR ON EXISTING WALL) PREP EXISTING FLOOR FOR NEW FLOOR FINISH.
2 REMOVE EXISTING DOORS, H.M. DOOR JAMBS AND TRANSOM PANELS/FRAMES (TRANSOMS AT TOILET & TOILET VESTIBULE DOORS ONLY). RETURN ALL EXISTING LOCK CYLINDERS TO OWNER.
3 REMOVE EXISTING TOILETS AND PIPING COORDINATE WITH PLUMBING DRAWINGS.
4 REMOVE EXISTING FLOOR FINISHES. PREP EXISTING FLOOR FOR NEW FLOOR FINISH.
5 REMOVE EXISTING SINK AND CAP PLUMBING SYSTEM. COORDINATE WITH PLUMBING DRAWINGS.
6 REMOVE PORTION OF EXIST. COUNTERTOP AND UPPER AND LOWER CASEWORK - PREP FOR NEW COUNTER AND CABINETS - REPAIR EXISTING GYP. WALLS AS NEEDED.
7 REMOVE EXISTING CEILING AND CEILING DEVICES. COORDINATE DEMOLITION WITH M.E.P. DRAWINGS.

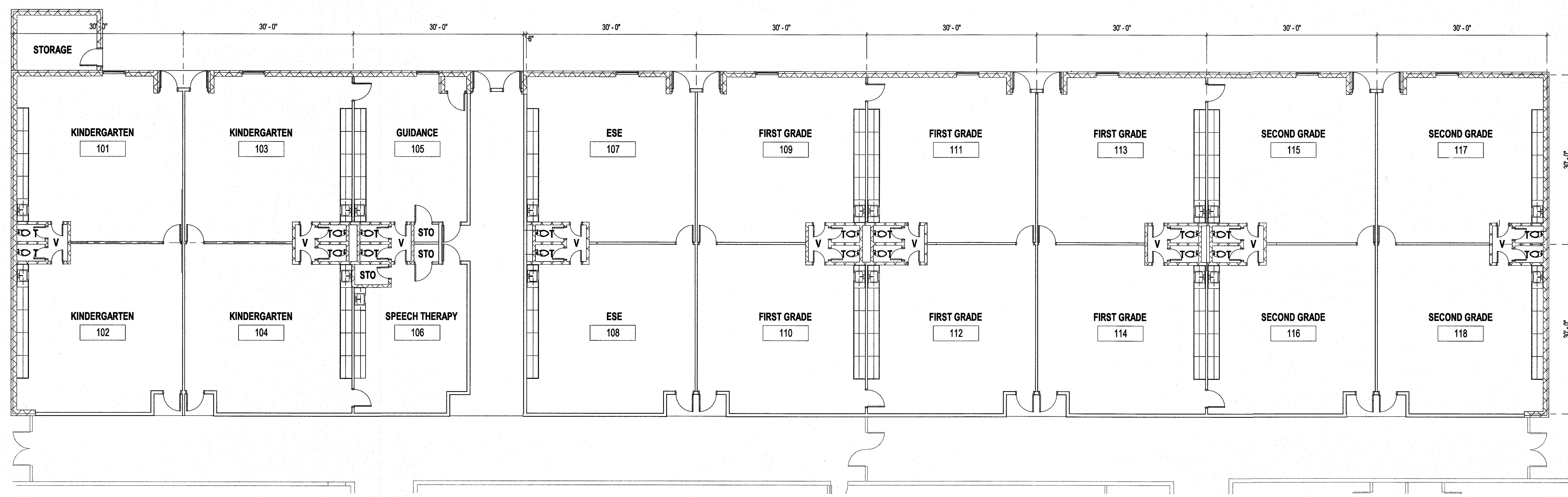


OAKRIDGE ELEMENTARY SCHOOL RESTROOM RENOVATIONS 19700 Drawn By: JH Project Code Checked By: DF 31 DECEMBER 2024 Date

CONTRACT DOCUMENTS

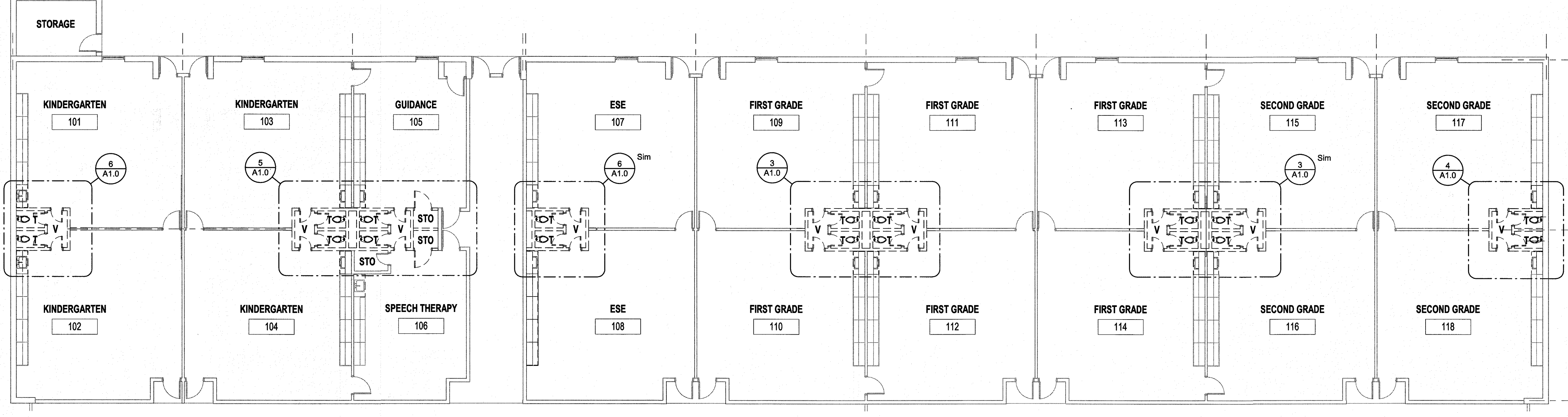


FLOOR PLANS - EXISTING & DEMO



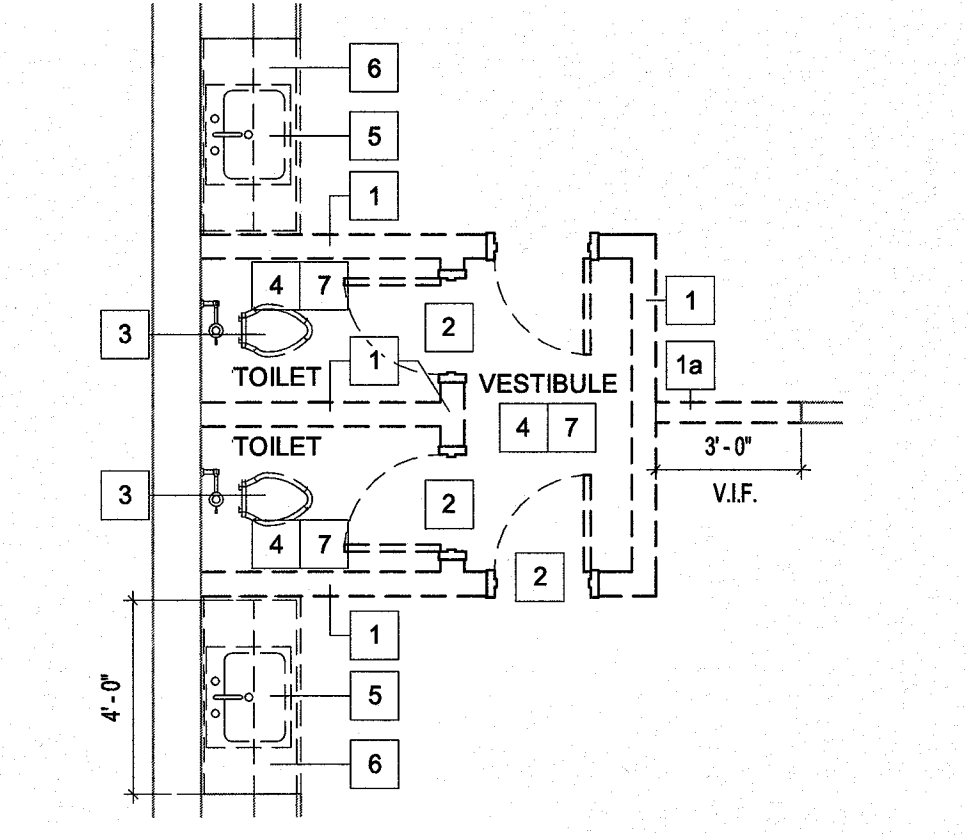
1 FLOOR PLAN - EXISTING

A1.0 3/32" = 1'-0"



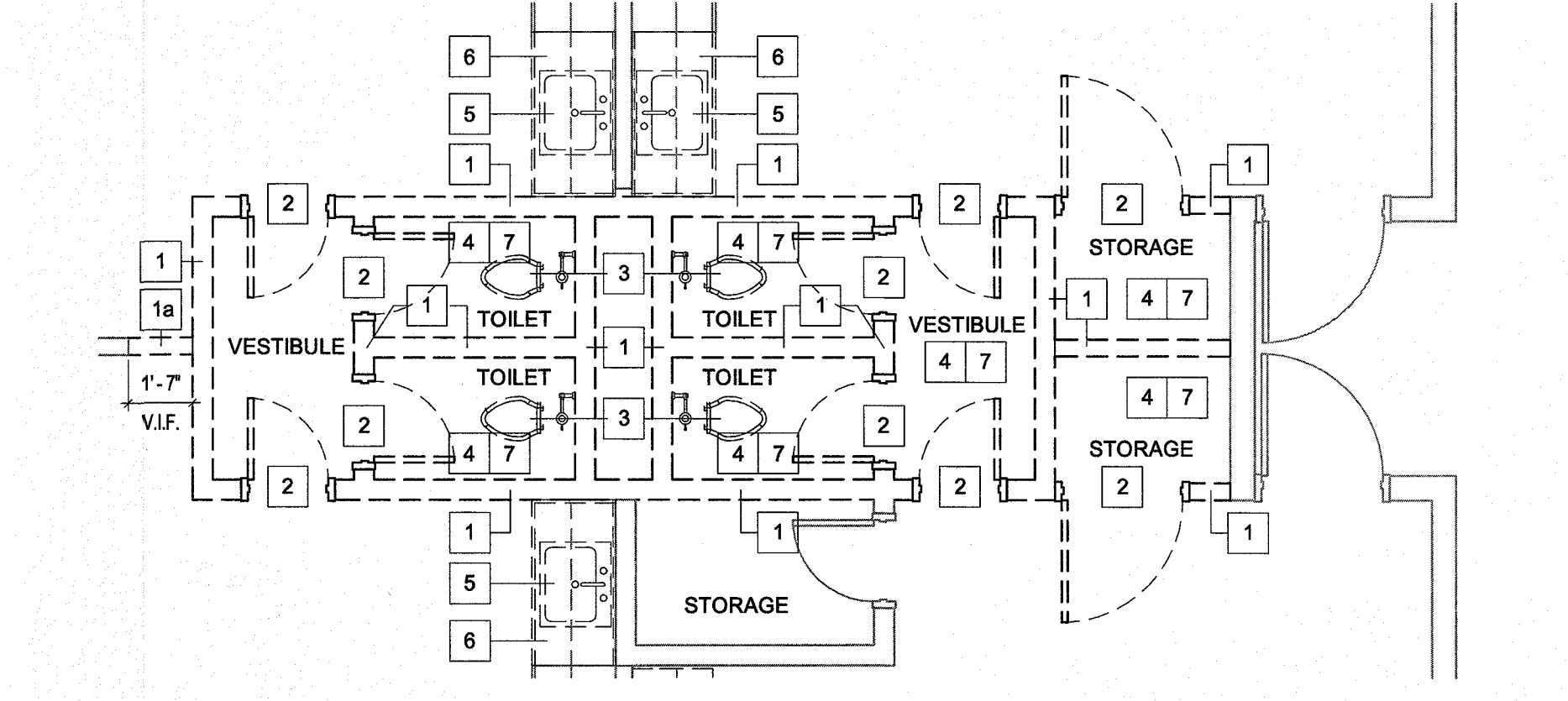
2 FLOOR PLAN - DEMOLITION

A1.0 3/32" = 1'-0"



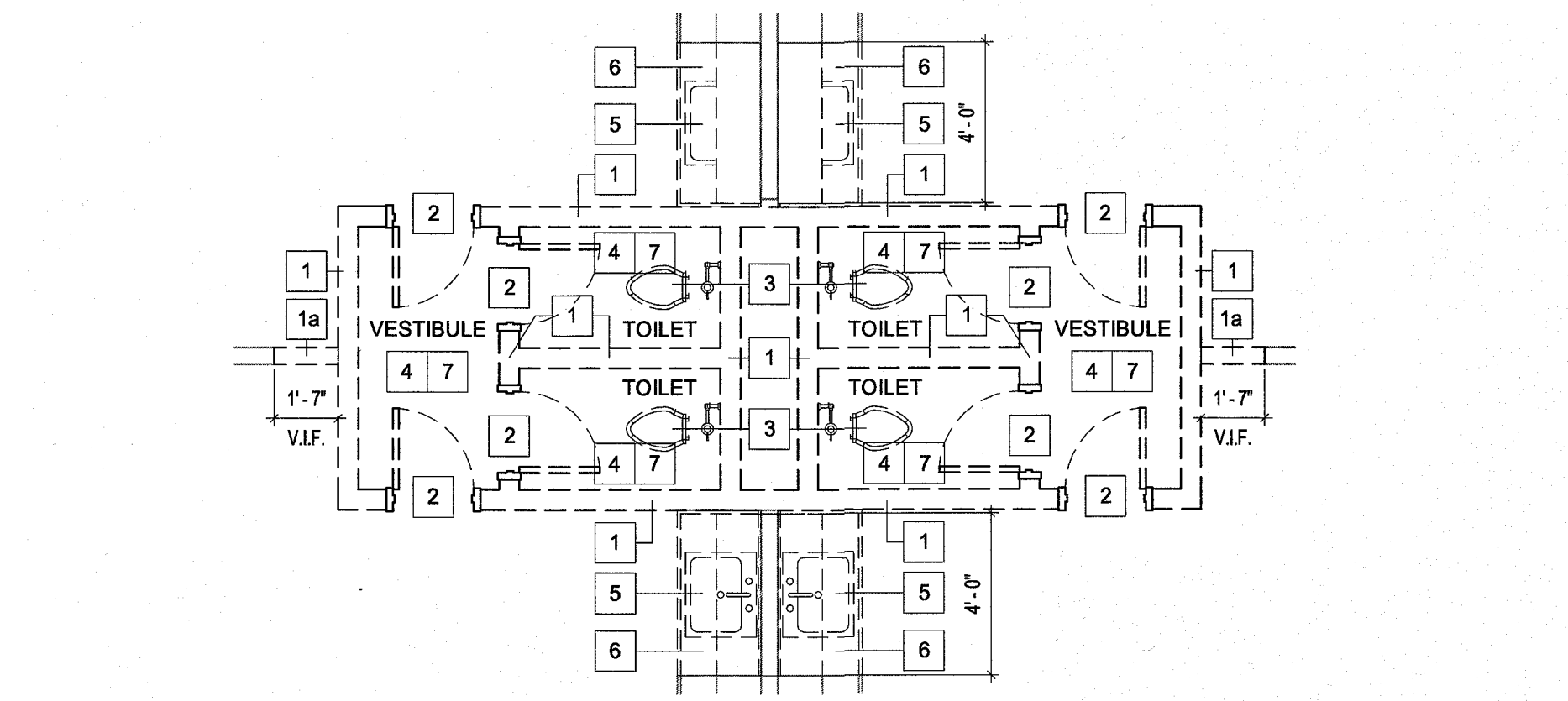
6 ENLARGED DEMO PLAN

A1.0 1/4" = 1'-0"



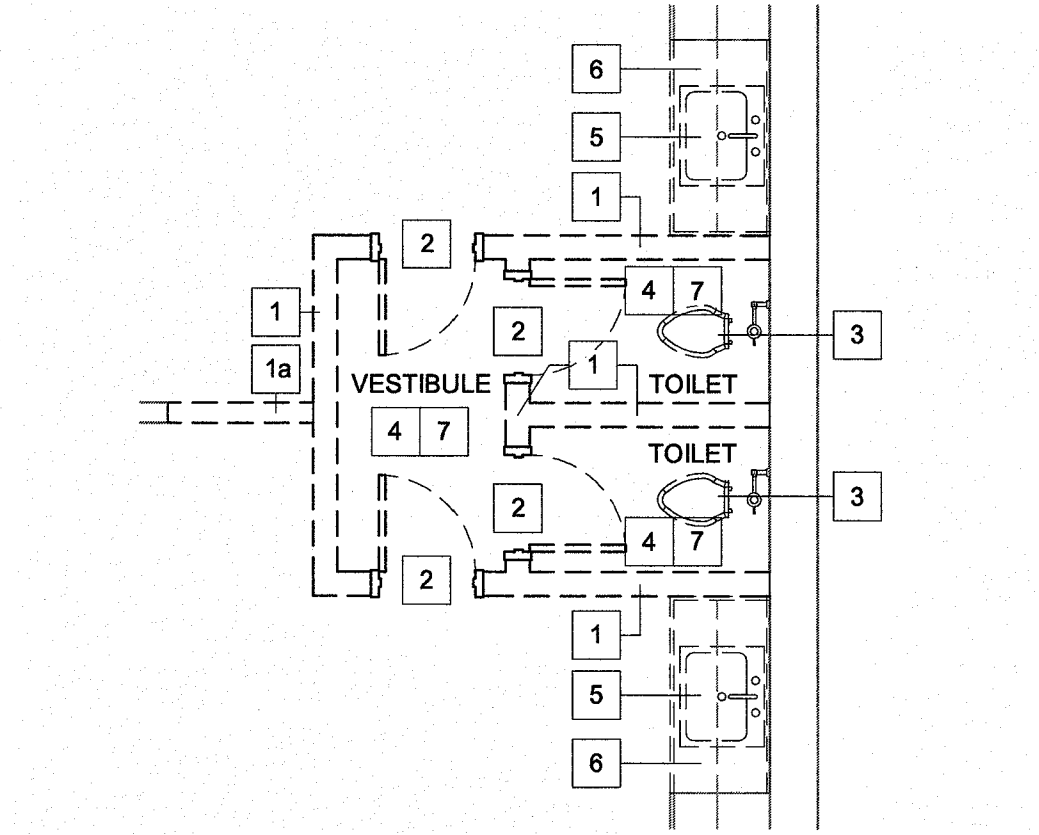
5 ENLARGED DEMO PLAN

A1.0 1/4" = 1'-0"



3 ENLARGED DEMO PLAN

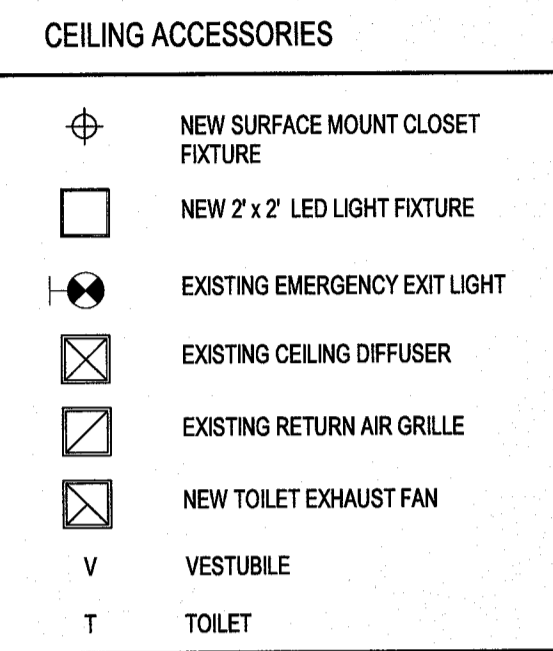
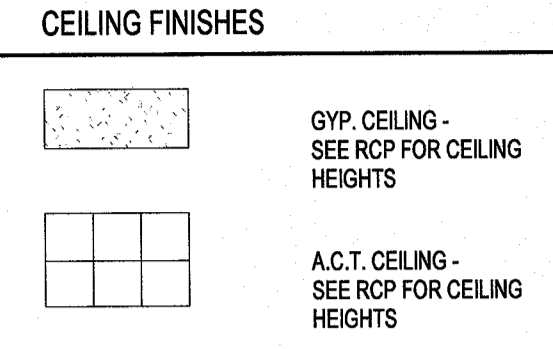
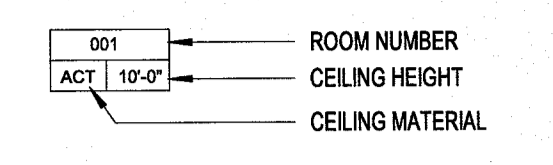
A1.0 1/4" = 1'-0"



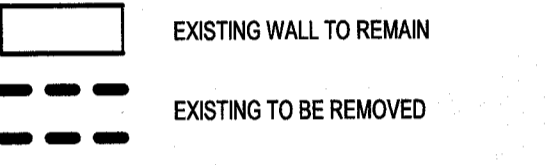
4 ENLARGED DEMO PLAN

A1.0 1/4" = 1'-0"

RCP LEGEND

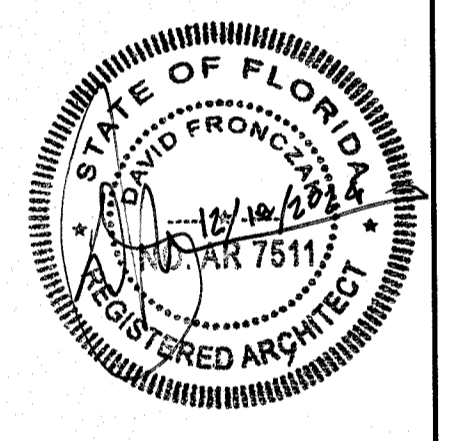


DEMOLITION LEGEND



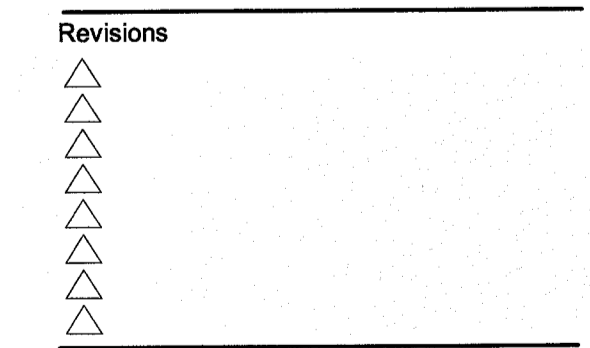
RCP DEMO KEYNOTES:

- 1 REMOVE EXISTING CEILING AND CEILING DEVICES. SAVE LIGHTS FOR RE-INSTALLATION. COORDINATE DEMOLITION WITH M.E.P. DRAWINGS.
2 REMOVE PORTION OF EXISTING CEILING TILE AND GRID, AS NEEDED TO ACCOMMODATE NEW RESTROOM LAYOUT. PREP FOR NEW CEILING GRID & CEILING TILE IN THIS AREA.
3 REMOVE OR RELOCATE EXISTING LIGHT. SEE ELECTRICAL PLAN.



OAKRIDGE ELEMENTARY SCHOOL RESTROOM RENOVATIONS
19700 Drawn By: JH
Project Code Checked By: DF

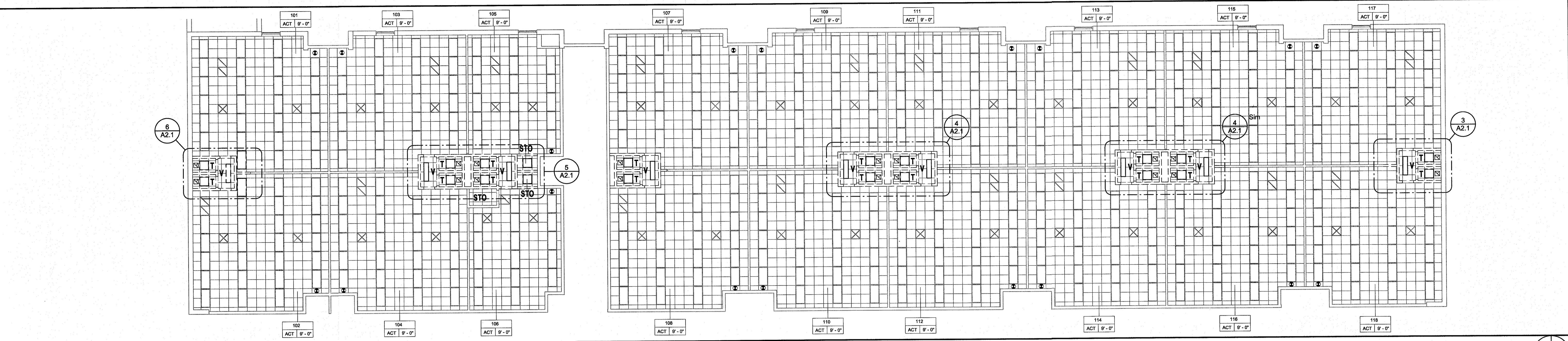
31 DECEMBER 2024
Date
CONTRACT DOCUMENTS



REFLECTED CEILING PLANS EXISTING, DEMO AND NEW WORK

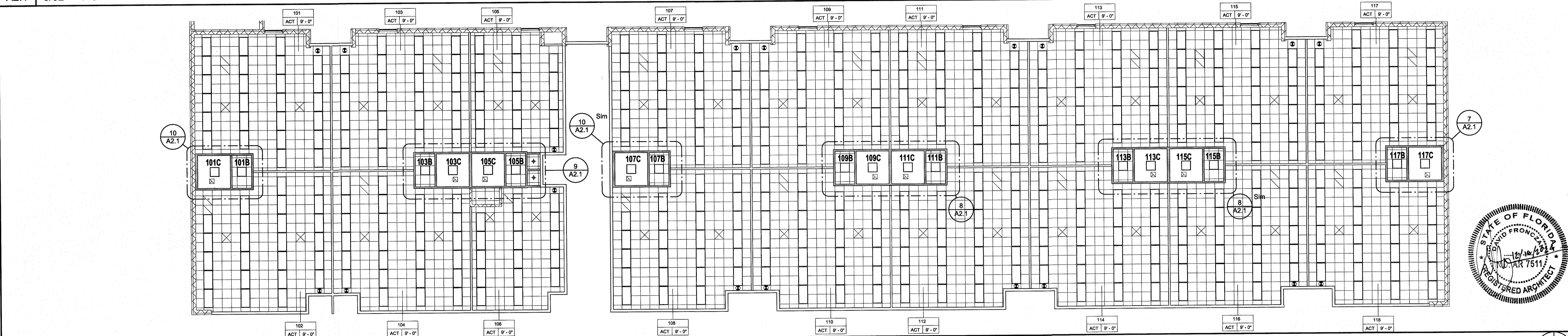
Tallahassee Florida

A2.1



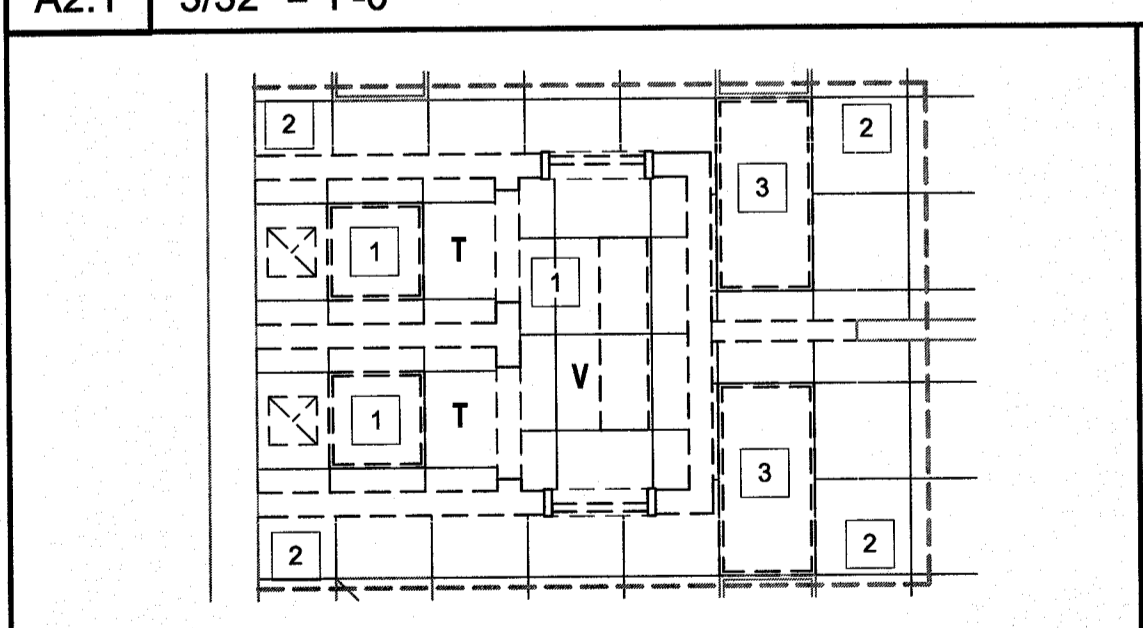
1 REFLECTED CEILING PLAN - EXISTING & DEMOLITION

A2.1 3/32" = 1'-0"



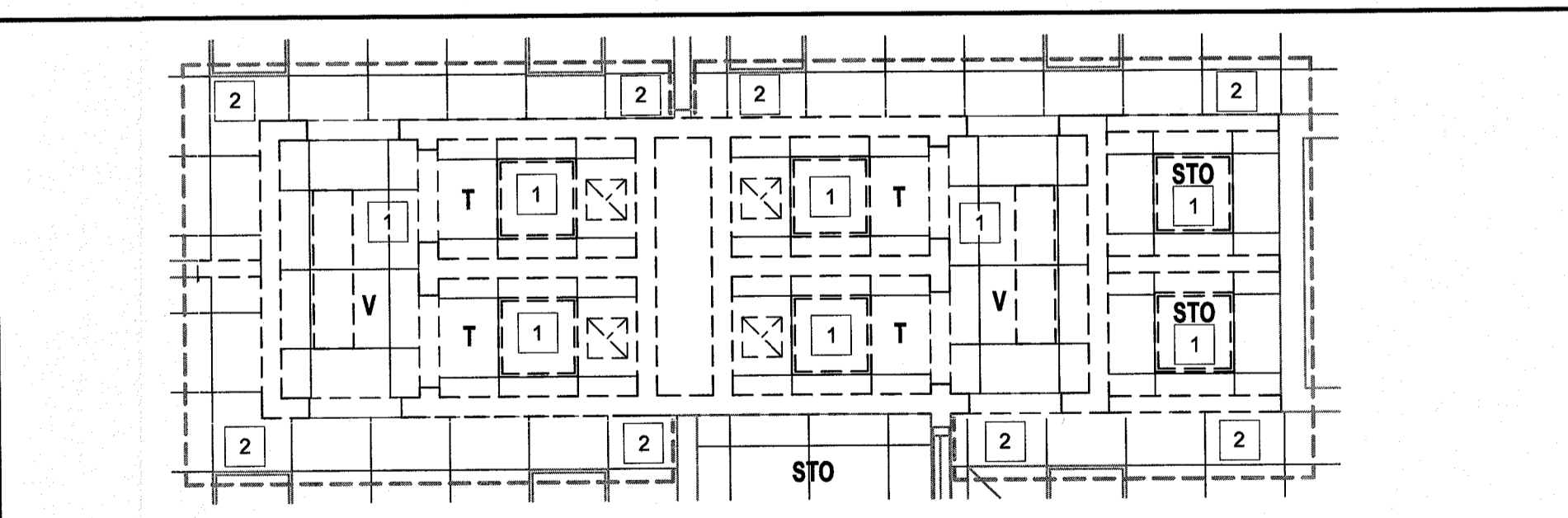
2 REFLECTED CEILING PLAN - NEW WORK

A2.1 3/32" = 1'-0"



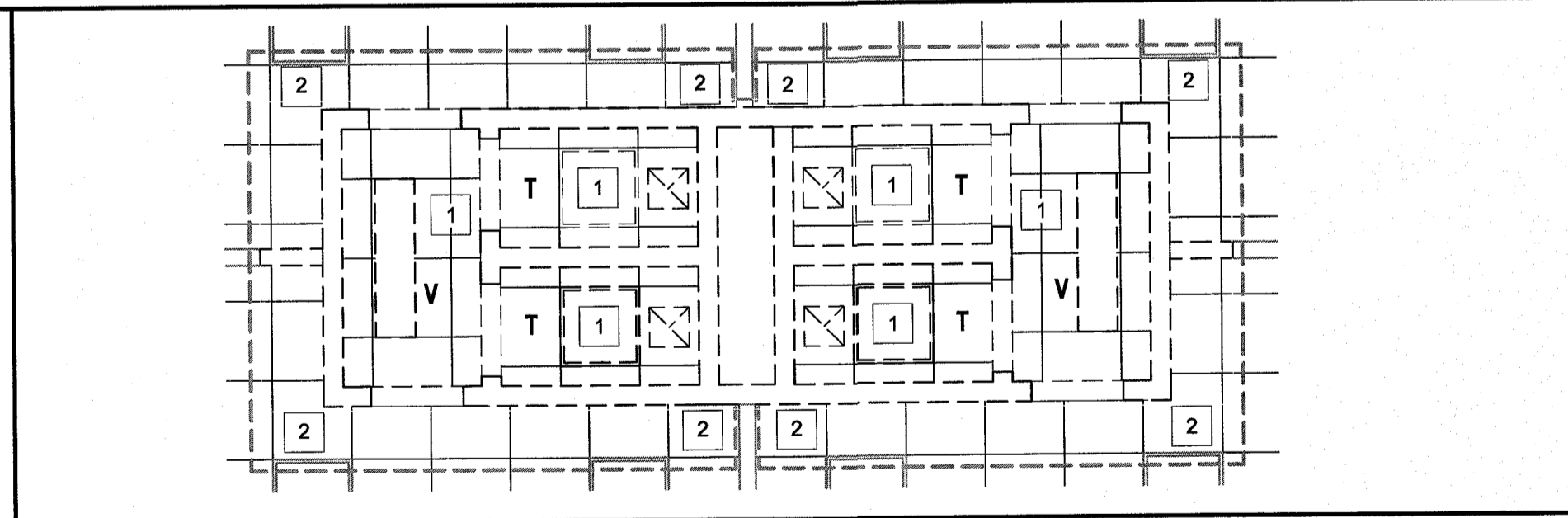
6 RCP PLAN - DEMO

A2.1 1/4" = 1'-0"



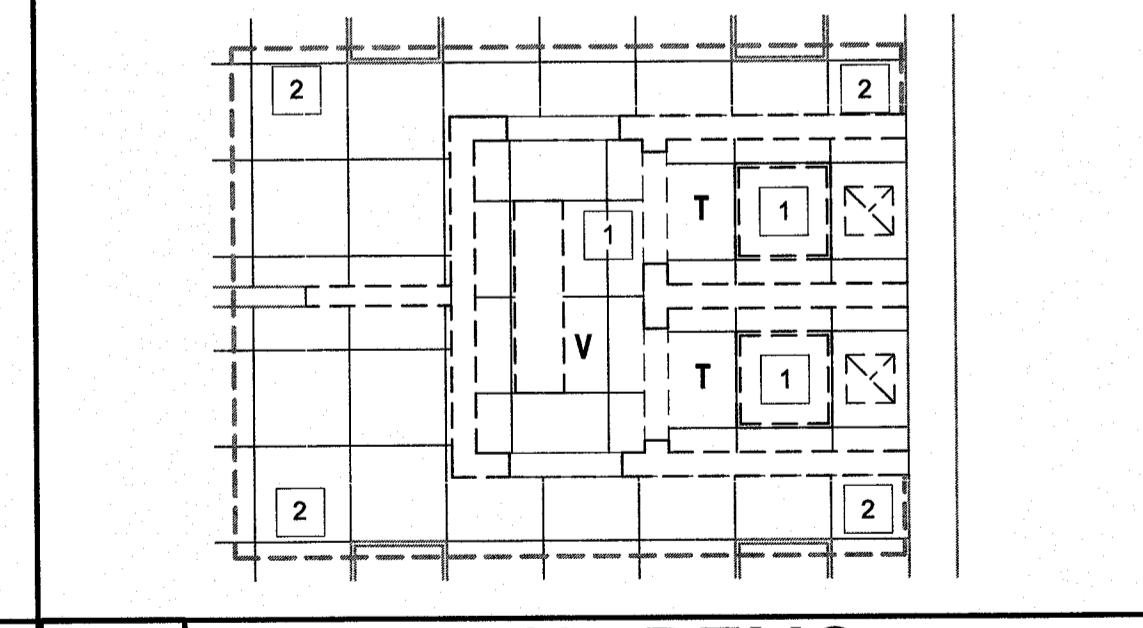
5 RCP PLAN - DEMO

A2.1 1/4" = 1'-0"



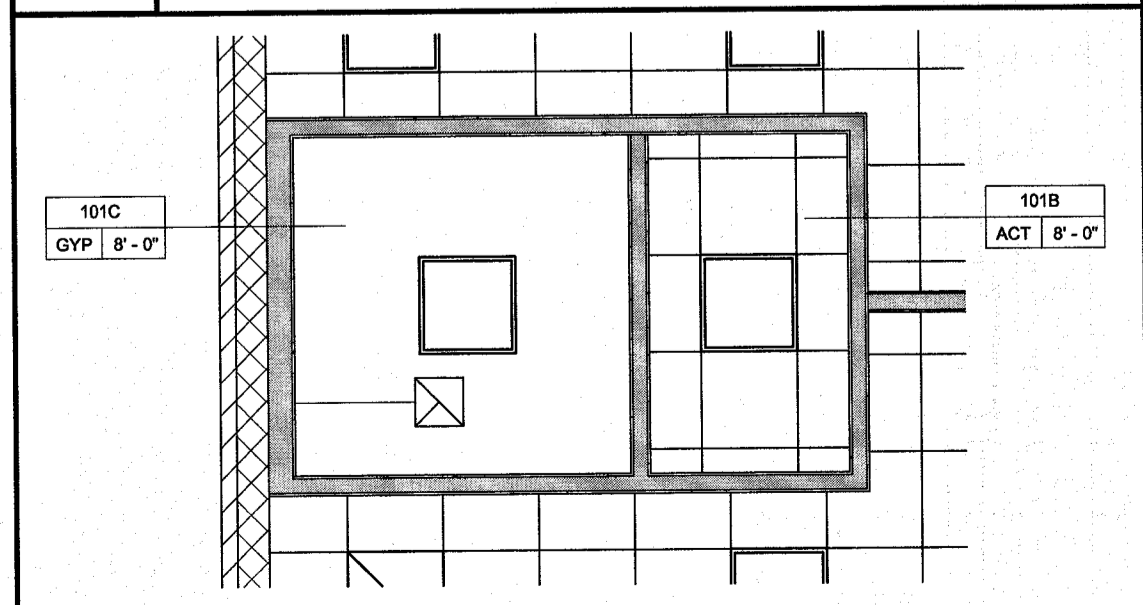
4 RCP PLAN - DEMO

A2.1 1/4" = 1'-0"



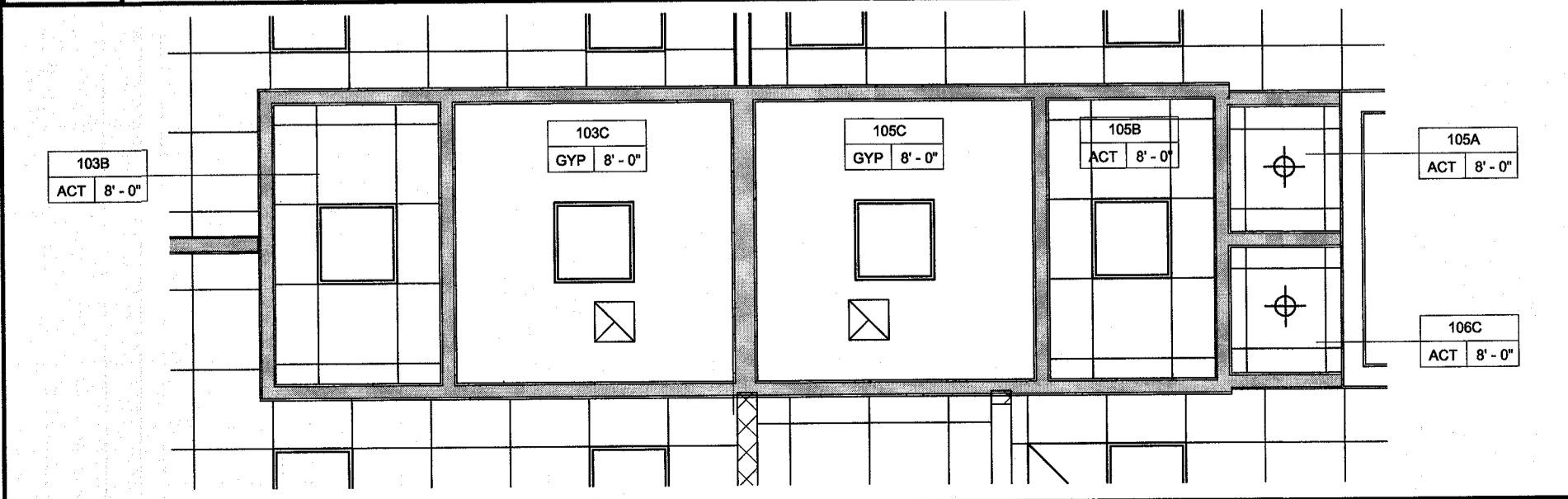
3 RCP PLAN - DEMO

A2.1 1/4" = 1'-0"



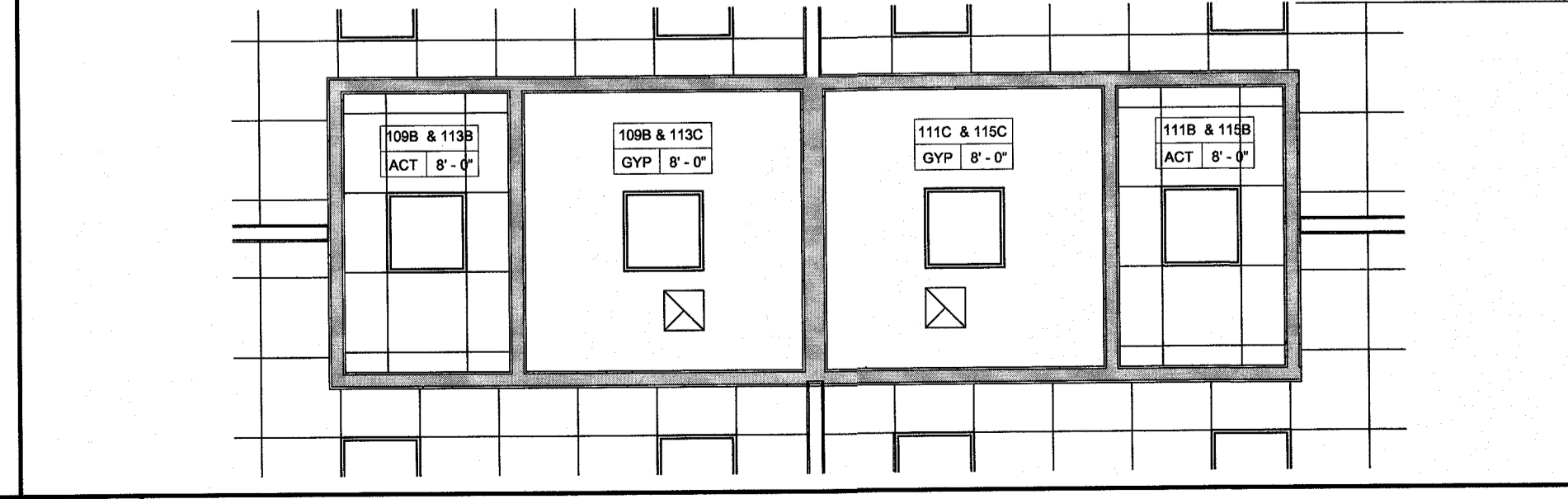
10 RCP PLAN - NEW WORK

A2.1 1/4" = 1'-0"



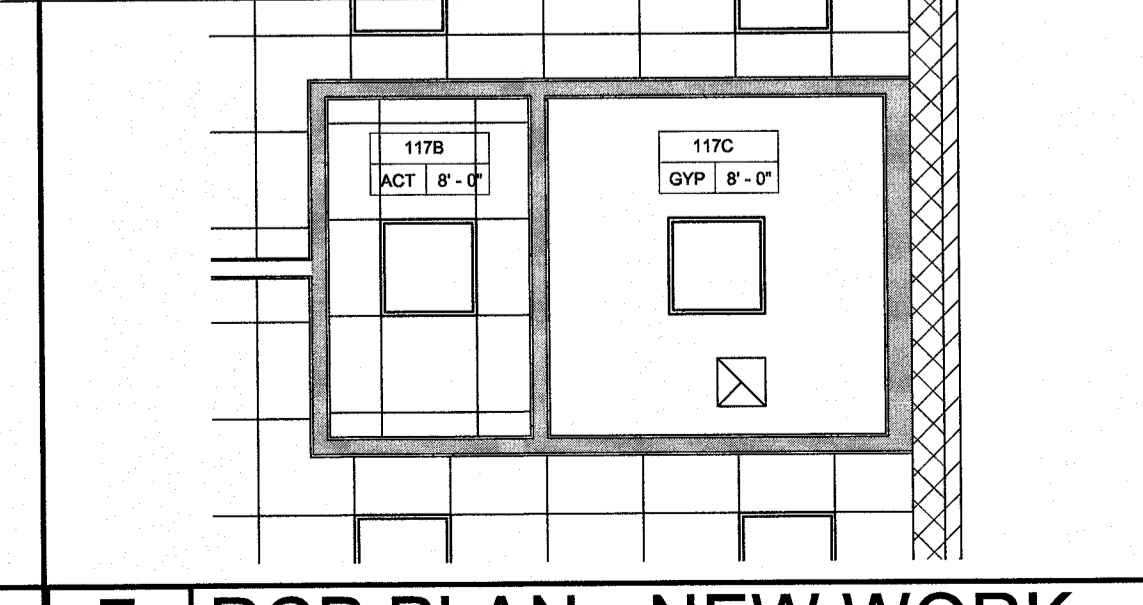
9 RCP PLAN - NEW WORK

A2.1 1/4" = 1'-0"



8 RCP PLAN - NEW WORK

A2.1 1/4" = 1'-0"

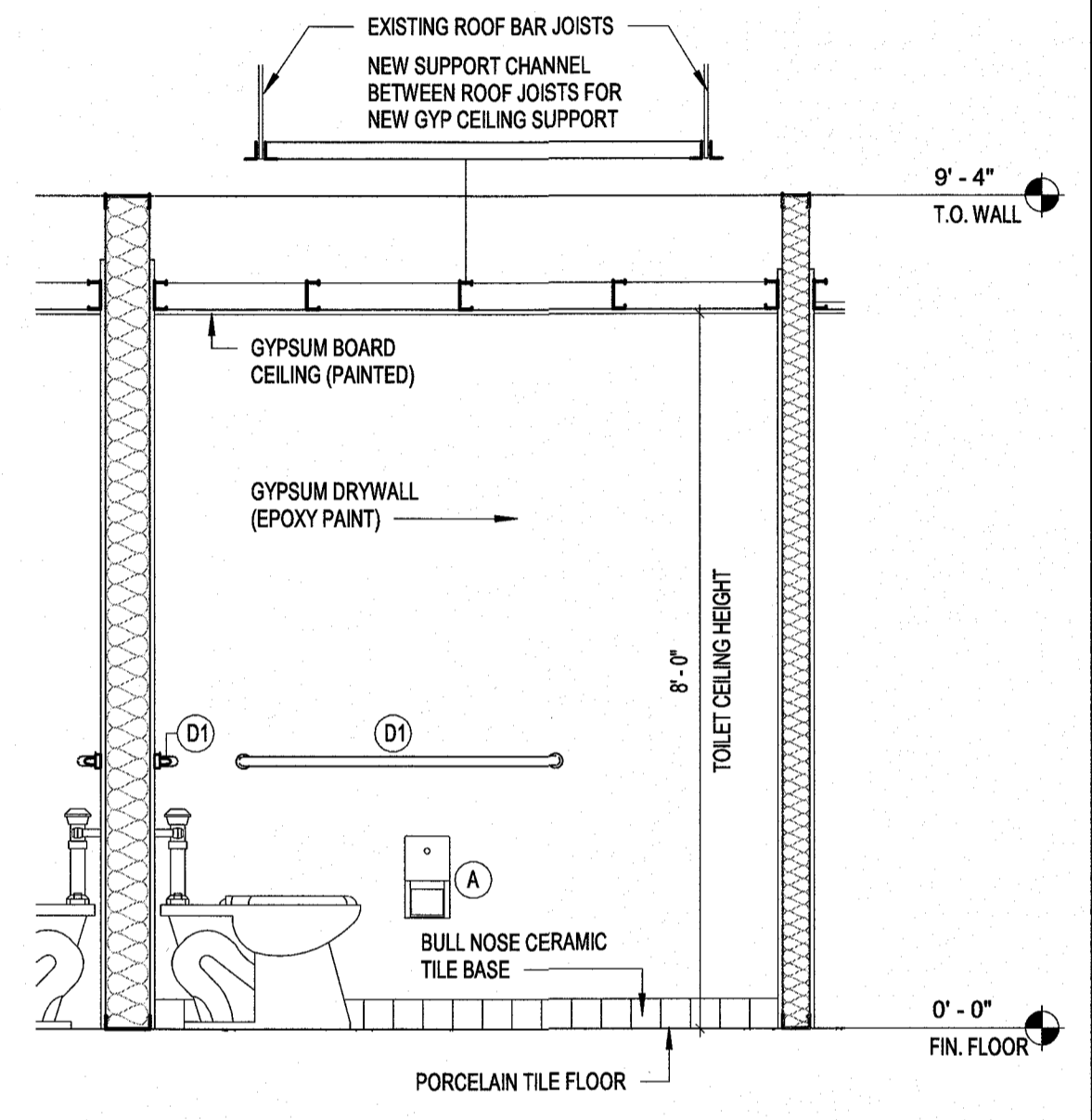


7 RCP PLAN - NEW WORK

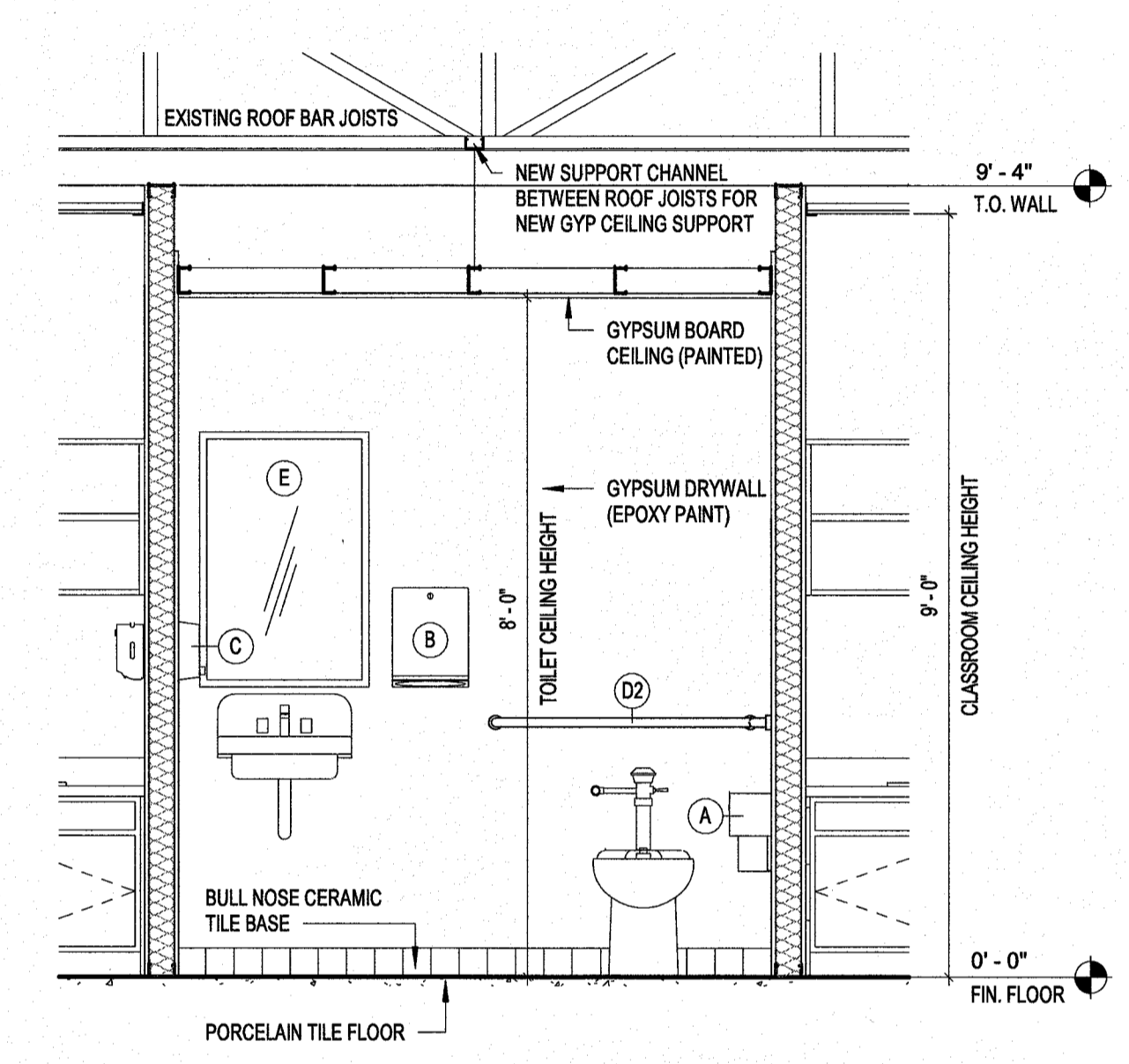
A2.1 1/4" = 1'-0"

WALL PARTITION SCHEDULE

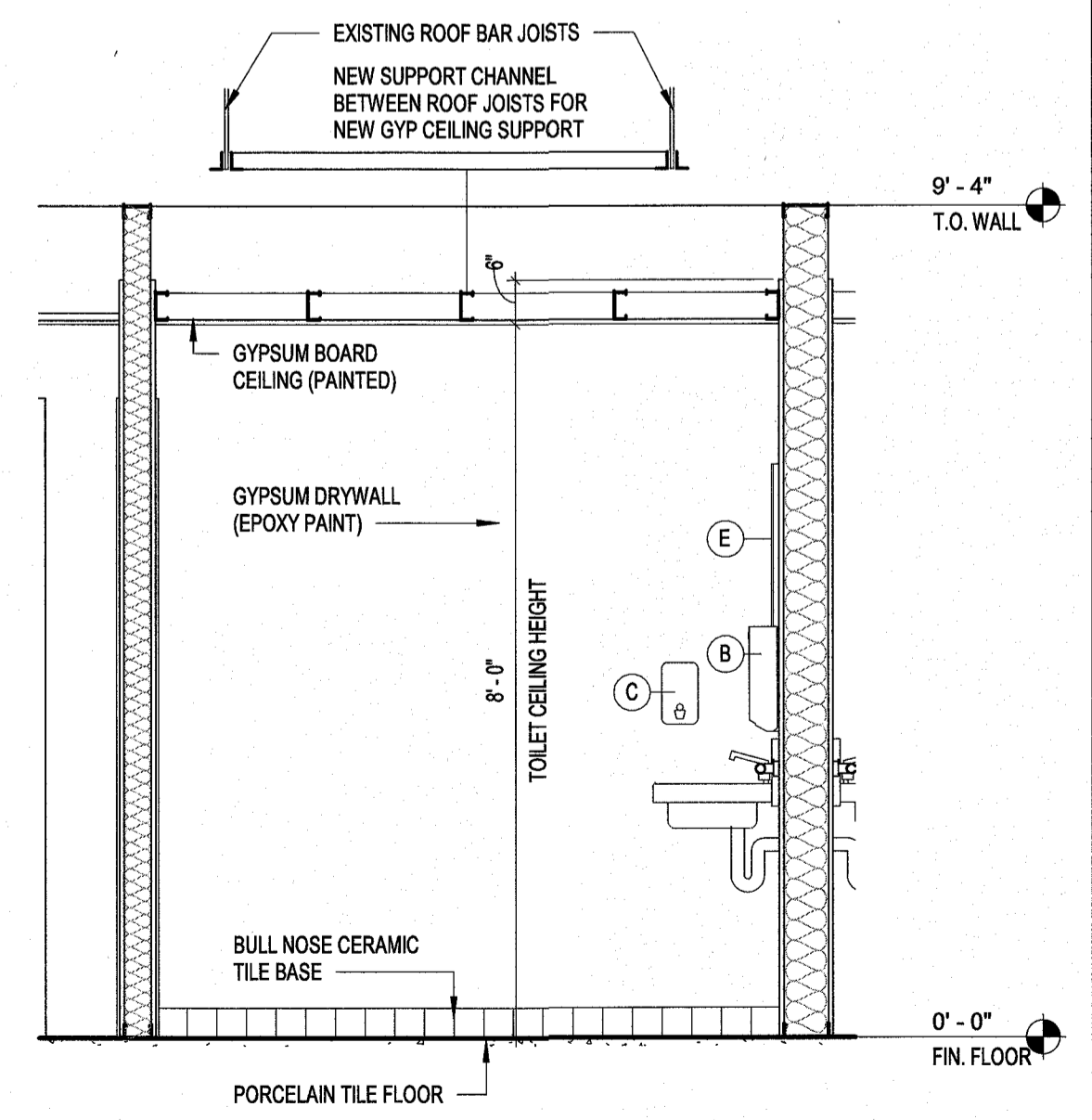
MARK	RATING	SYMBOL	PLAN SECTION	ASSEMBLY	REMARKS
P-1			PARTITION TYPE 	① 1 Layer of 5/8" Type "X" Gypsum Board each side ② 3 5/8" Metal Studs @ 16" O.C. ③ F.G. Sound Attenuation Batts	5/8" Moisture Resistant Gyp. Board @ Toilets / Bathrooms
P-2			PARTITION TYPE 	① 6" Metal Studs @ 16" O.C. ② 1 Layer of 5/8" Type "X" Gypsum Board each side ③ F.G. Sound Attenuation Batts	5/8" Moisture Resistant Gyp. Board @ Toilets / Bathrooms
P-2.1			PARTITION TYPE 	① 6" Metal Studs @ 16" O.C. ② 1 Layer of 5/8" Type "X" Gypsum Board ③ F.G. Batt Insulation	5/8" Moisture Resistant Gyp. Board @ Toilets / Bathrooms



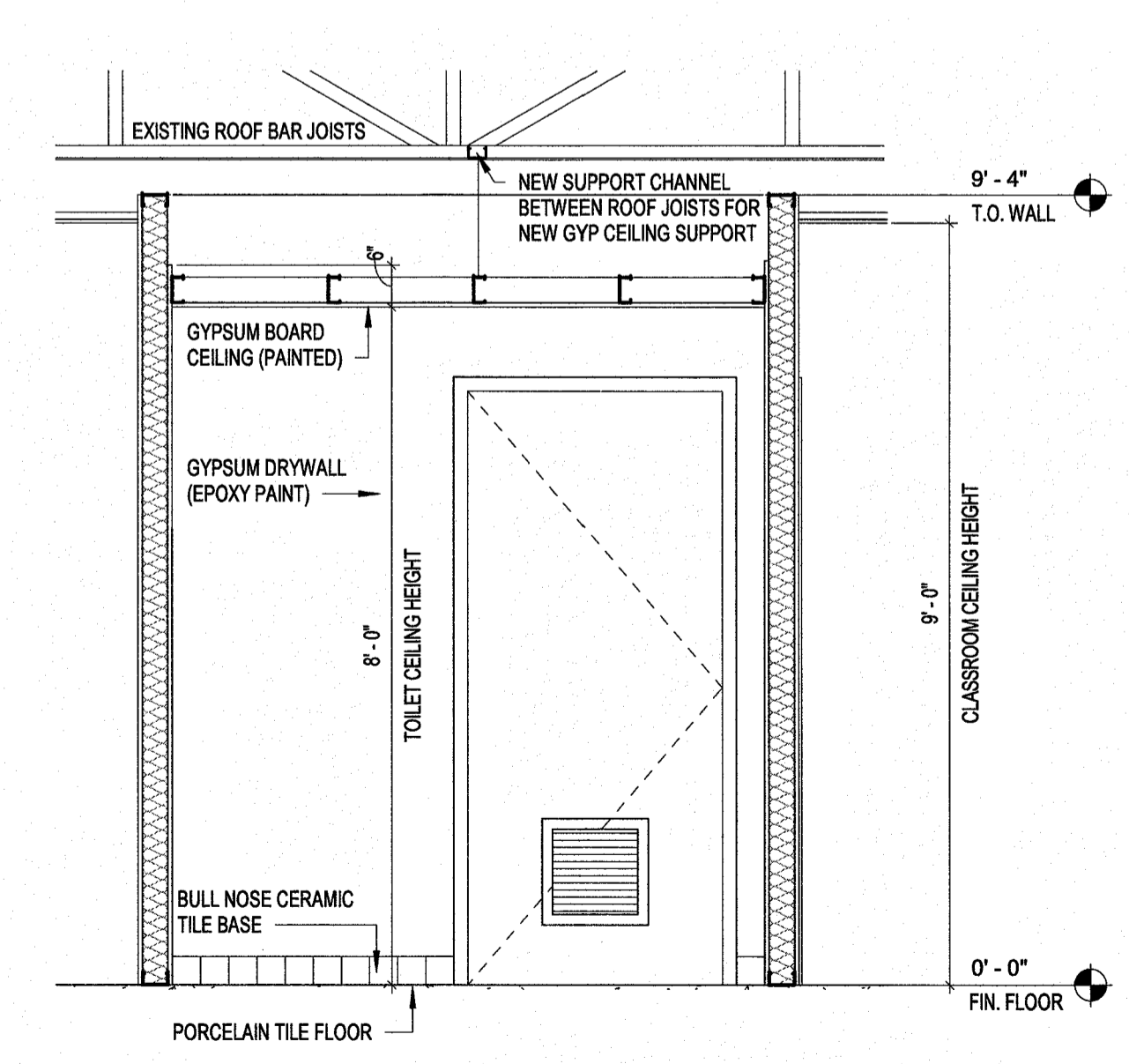
2 TOILET ELEVATION
A3.1 1/2" = 1'-0"



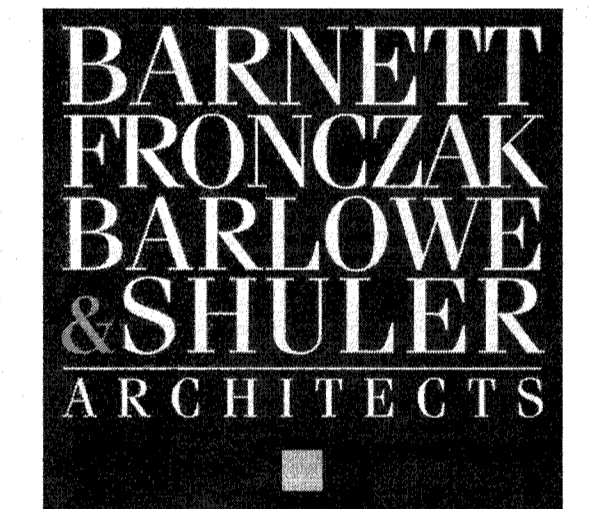
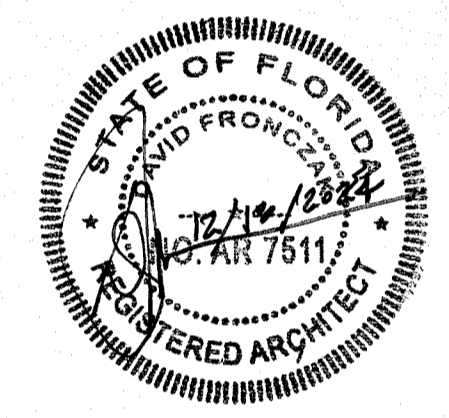
1 TOILET ELEVATION
A3.1 1/2" = 1'-0"



4 TOILET ELEVATION
A3.1 1/2" = 1'-0"



3 TOILET ELEVATION
A3.1 1/2" = 1'-0"



OAKRIDGE ELEMENTARY SCHOOL RESTROOM RENOVATIONS
19700 Drawn By: JH
Project Code Checked By: DF
Date: 31 DECEMBER 2024

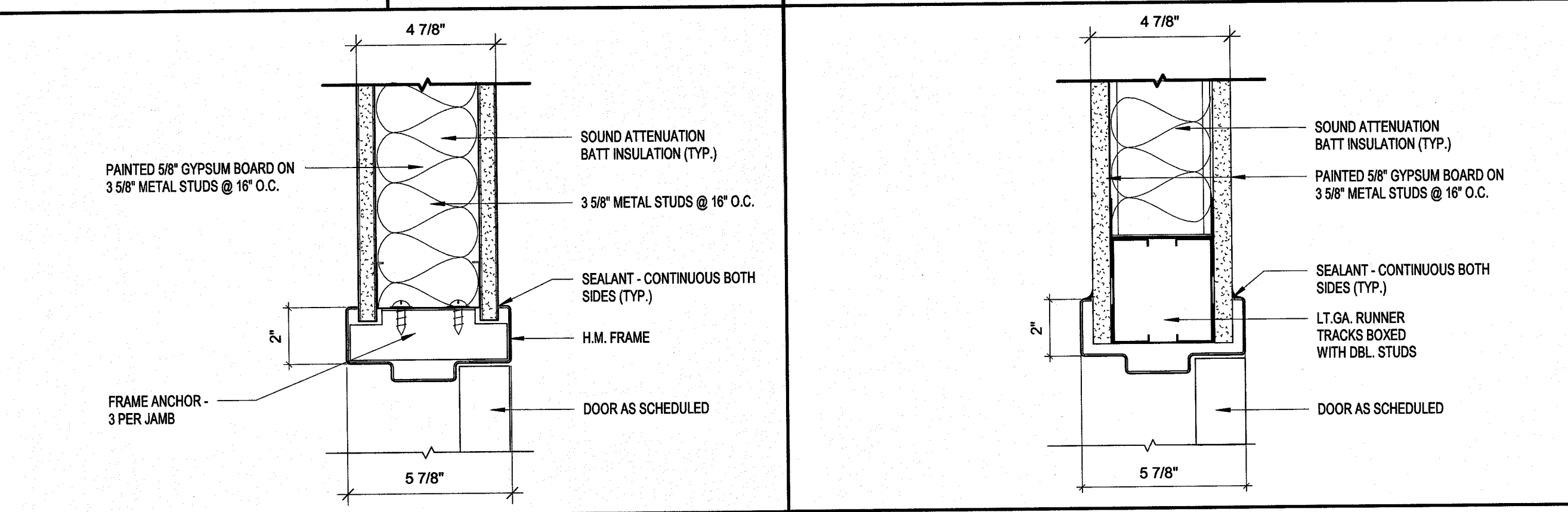
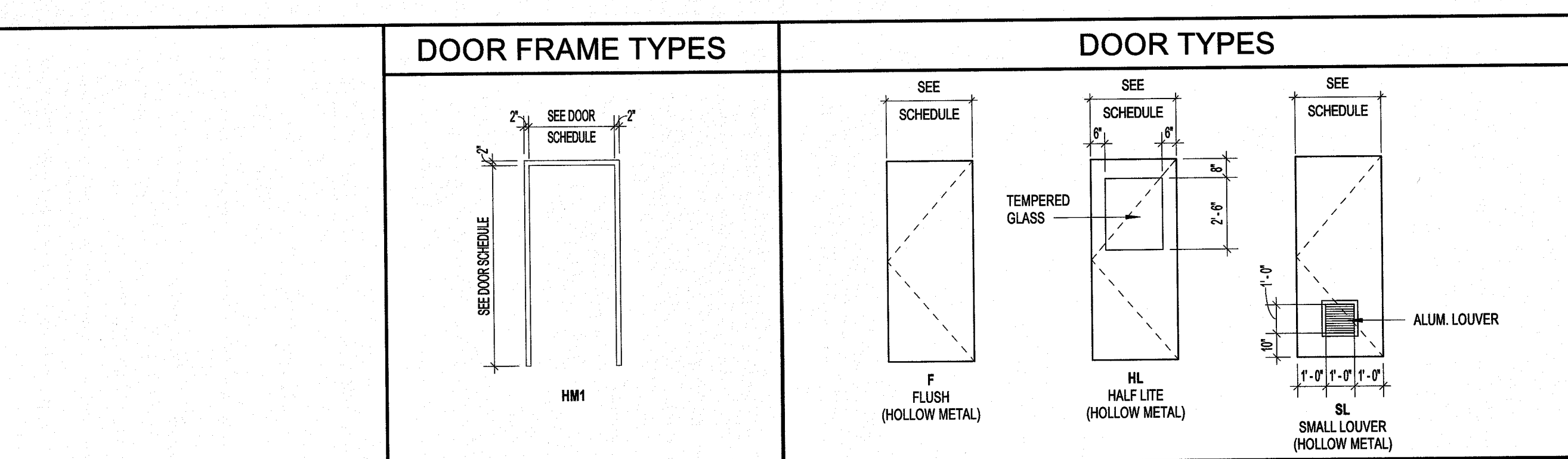
CONTRACT DOCUMENTS

- Revisions
- △
 - △
 - △
 - △
 - △
 - △
 - △

SCHEDULES & DETAILS

Tallahassee Florida

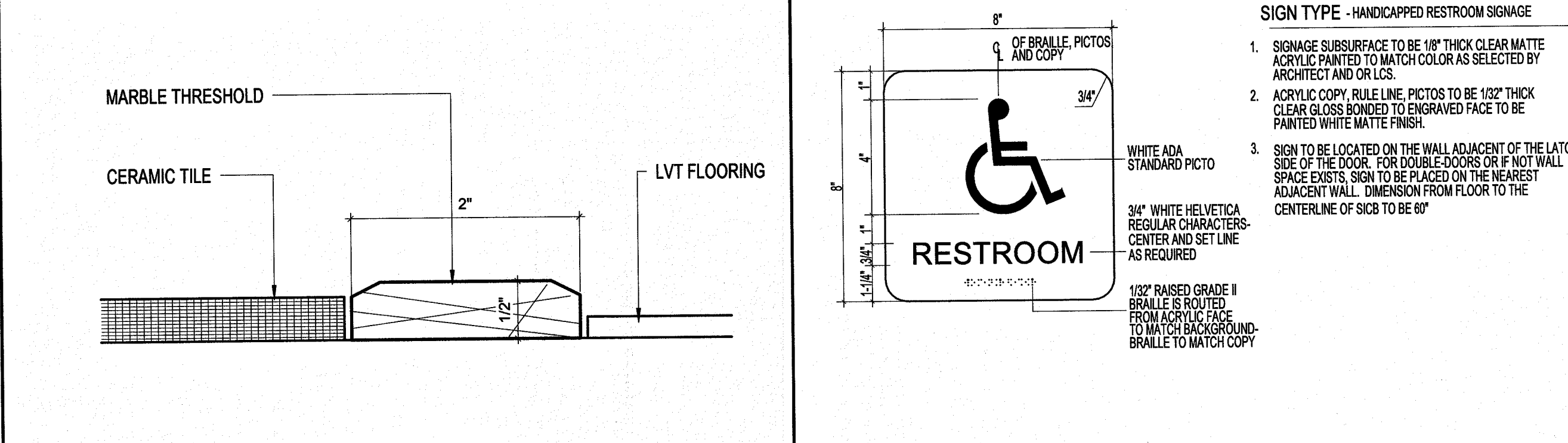
A3.1



DOOR SCHEDULE													
DOOR NO.	FIRE RATING	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	DOOR FINISH	FRAME TYPE	FRAME FINISH	HARDWARE SET	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	REMARKS
101B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
101B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
101C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
103B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
103B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
103C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
105A		2' - 0"	7' - 0"	0' - 1 3/4"	F	PAINT	HM	PAINT	3	1/A4.2	2/A4.2		STORAGE LOCKSET
105B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
105B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
105C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
106C		2' - 0"	7' - 0"	0' - 1 3/4"	F	PAINT	HM	PAINT	3	1/A4.2	2/A4.2		STORAGE LOCKSET
107B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
107B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
107C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
109B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
109B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
109C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
111B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
111B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
111C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
113B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
113B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
113C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
115B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
115B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
115C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET
117B		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
117B1		3' - 0"	7' - 0"	0' - 1 3/4"	HL	PAINT	HM	PAINT	2	1/A4.2	2/A4.2		CLASSROOM LOCKSET
117C		3' - 0"	7' - 0"	0' - 1 3/4"	SL	PAINT	HM	PAINT	1	1/A4.2	2/A4.2	4/A4.1	PRIVACY LOCKSET

NOTE:
VESTIBULE DOORS TO BE SCHLAGE ND 70-LD-RHO-626 CLASSROOM LOCKSET - EXTERIOR LOCKDOWN ONLY
RESTROOM DOORS TO BE SCHLAGE ND 40-S-RHO-626 PRIVACY LOCKSET
EXISTING LOCK CYLINDERS TO BE SAVED FOR RE-USE

2	H.M. DOOR JAMB	1	H.M. DOOR HEAD
A4.1	3" = 1'-0"	A4.1	3" = 1'-0"

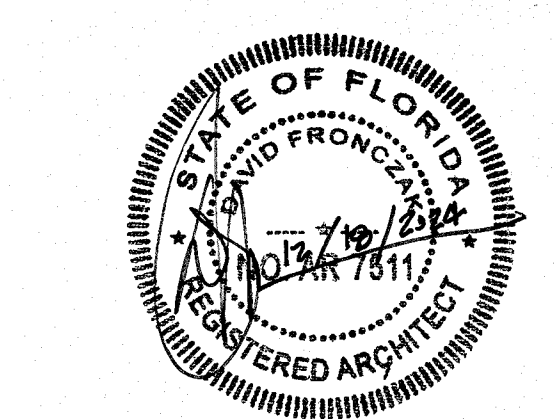


4	MARBLE THRESHOLD	3	RESTROOM SIGNAGE
A4.1	12" = 1'-0"	A4.1	3" = 1'-0"

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	CEILING		COMMENTS
								MATERIAL	HEIGHT	
101	KINDERGARTEN	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
101B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
101C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
102	KINDERGARTEN	EXISTING	RUBBER	EXISTING	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
103	KINDERGARTEN	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
103B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
103C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
104	KINDERGARTEN	EXISTING	RUBBER	EXISTING	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
105	GUIDANCE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
105A	STORAGE	SEALED CONC.	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
105B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
105C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
106	SPEECH THERAPY	EXISTING	RUBBER	EXISTING	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
106A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	PAINT	ACT	9'-0"	PAINT NEW WALLS
106C	STORAGE	SEALED CONC.	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
107	ESE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
107B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
107C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
108	ESE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
109	FIRST GRADE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
109B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
109C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
110	FIRST GRADE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
111	FIRST GRADE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
111B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
111C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
112	FIRST GRADE	EXISTING	RUBBER	EXISTING	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
113	FIRST GRADE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
113B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
113C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
114	FIRST GRADE	EXISTING	RUBBER	EXISTING	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
115	SECOND GRADE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
115B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
115C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
116	SECOND GRADE	EXISTING	RUBBER	EXISTING	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
117	SECOND GRADE	EXISTING	RUBBER	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS
117B	VESTIBULE	CERAMIC TILE	RUBBER	PAINT	PAINT	PAINT	PAINT	ACT	9'-0"	PAINT NEW WALLS
117C	TOILET	CERAMIC TILE	CERAMIC TILE	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	M.R. GYP. BOARD	9'-0"	PAINT NEW WALLS - EPOXY
118	SECOND GRADE	EXISTING	RUBBER	EXISTING	EXISTING	EXISTING	PAINT	EXISTING	EXISTING	PAINT AND ADD BASE TO NEW WALLS

FINISH MATERIAL LEGEND						
MATERIAL NAME	MATERIAL DESCRIPTION	MANUFACTURER	PRODUCT #	COLOR/FINISH	LOCATION	MATERIAL COMMENTS
ACOUSTIC CEILING				WHITE	GEN. INTERIOR CEILING	MATCH EXISTING CEILING TILE
HIGH PRESSURE LAMINATE				TBD	CLASSROOM CABINETS	
PORCELAIN FLOOR TILE				TBD	TOILET & VESTIBULE	
CERAMIC TILE WALL BASE				TBD	TOILET & VESTIBULE	
PAIN	INTERIOR FIELD COLOR	PER OWNER		SEE COMMENTS	SEE ROOM FINISH SCHEDULE	
PAIN	DOOR AND FRAME COLOR	PER OWNER		SEE COMMENTS	SEE ROOM FINISH SCHEDULE	PAINT COLOR SELECTIONS PROVIDED BY OWNER
SOLID SURFACE COUNTERTOP				TBD	CLASSROOM CABINETS	PAINT COLOR SELECTIONS PROVIDED BY OWNER
FLOORING TRANSITION STRIP				WHITE	TOILET & VESTIBULE	
WALL BASE				BLACK	CLASSROOM	MATCH EXISTING BASE AT CLASSROOM



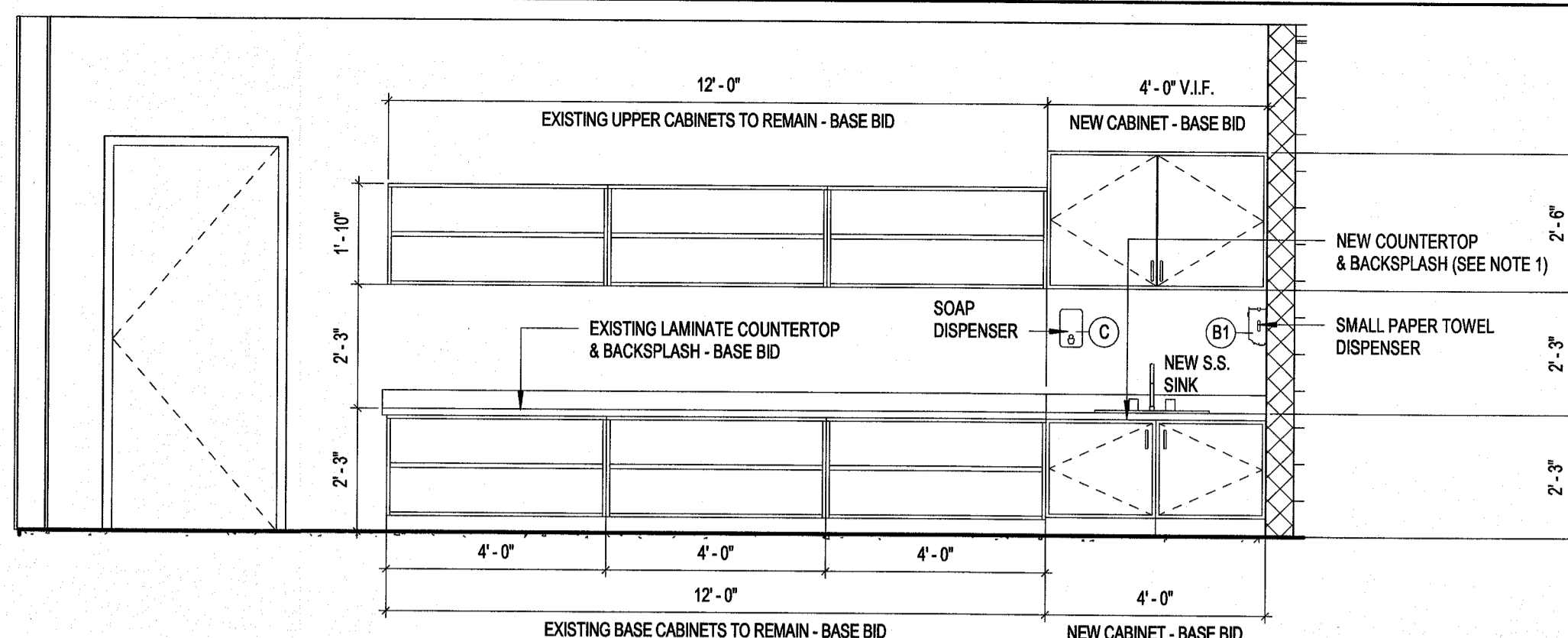
OAKRIDGE
ELEMENTARY
SCHOOL
RESTROOM
RENOVATIONS
19700
Project Code
Checked By: JH

31 DECEMBER 2024
Date
CONTRACT
DOCUMENTS

Revisions
▲
▲
▲
▲
▲
▲
▲
▲

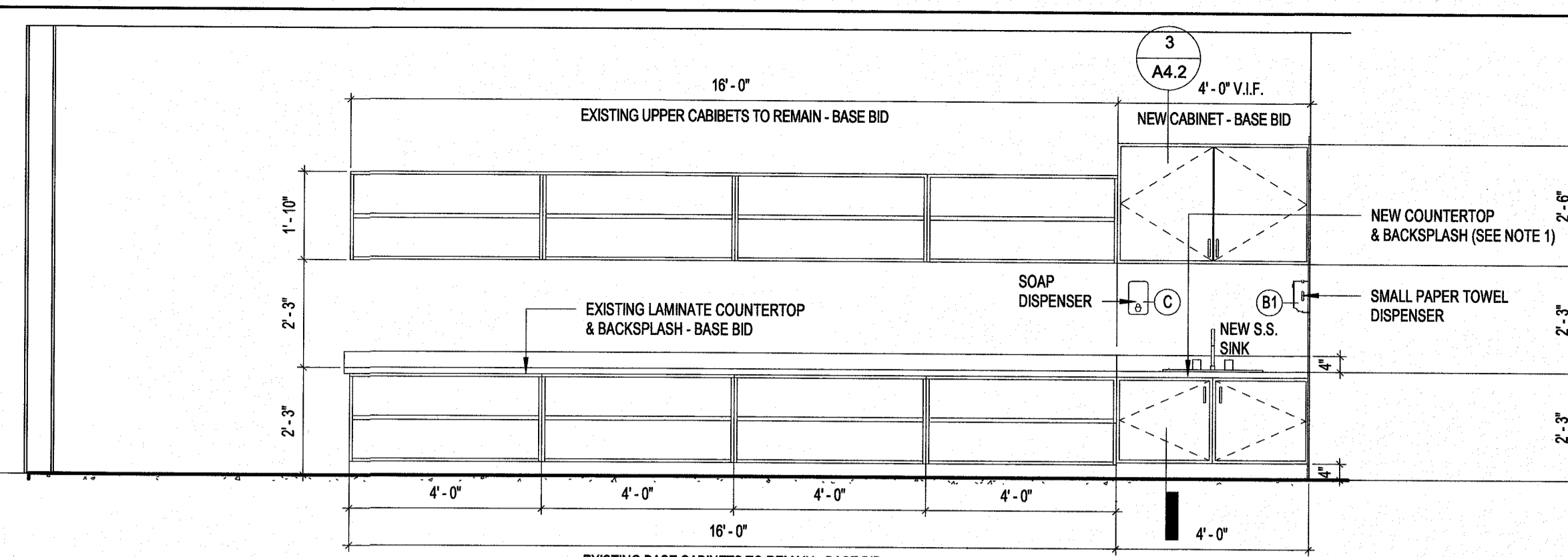
SCHEDULES &
DETAILS

NOTES
 1. BASE BID - LAMINATE COUNTERTOP
 ALTERNATE - SOLID SURFACE COUNTERTOPS



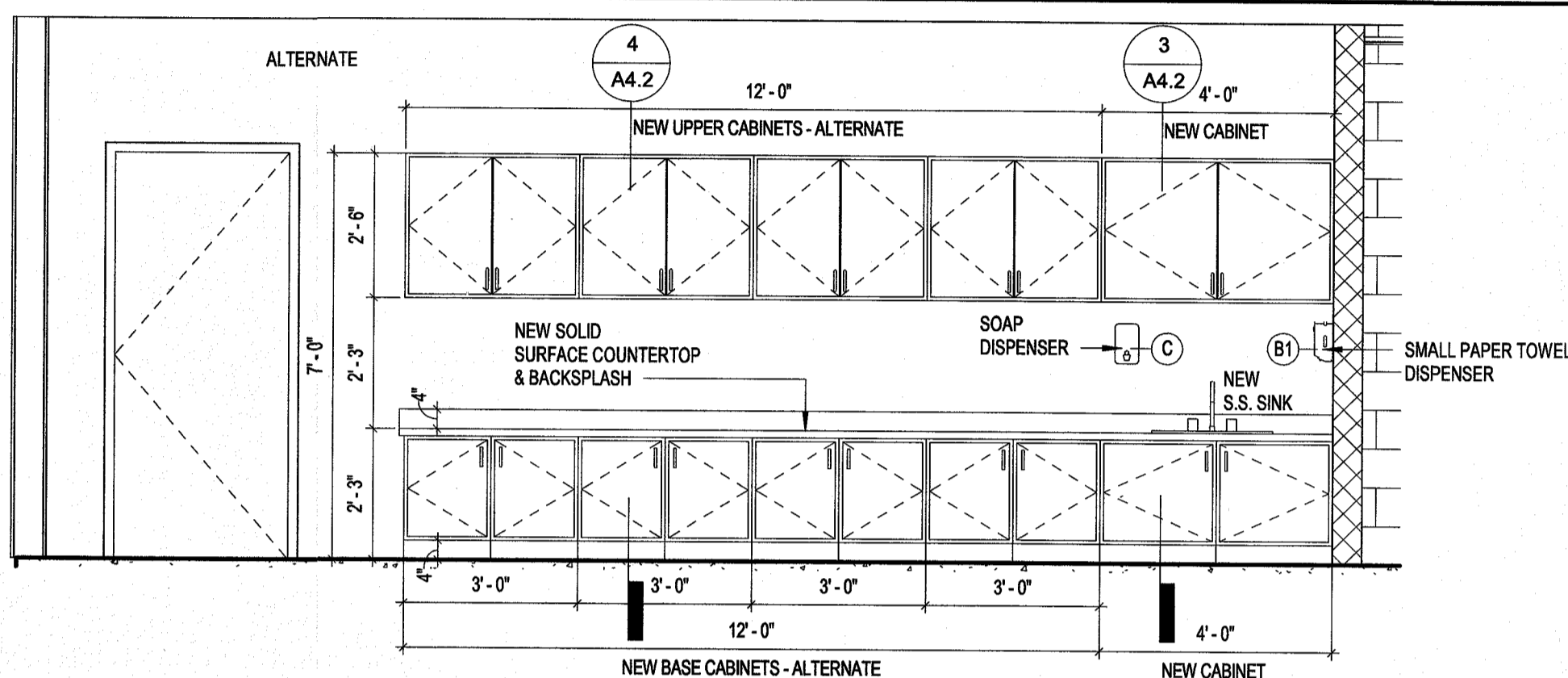
5 CASEWORK ELEVATION CLASSROOM 106 - New & Existing

A4.2 3/8" = 1'-0"



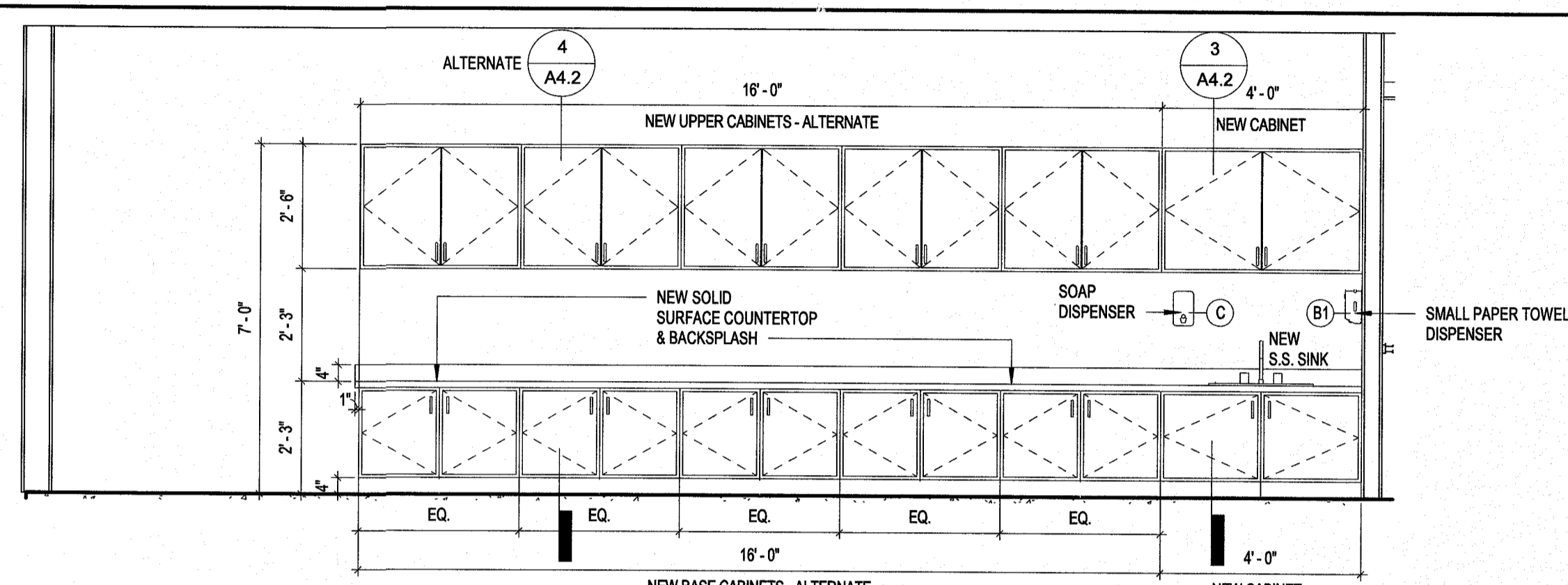
1 TYPICAL CASEWORK ELEVATION- New & Existing

A4.2 3/8" = 1'-0"



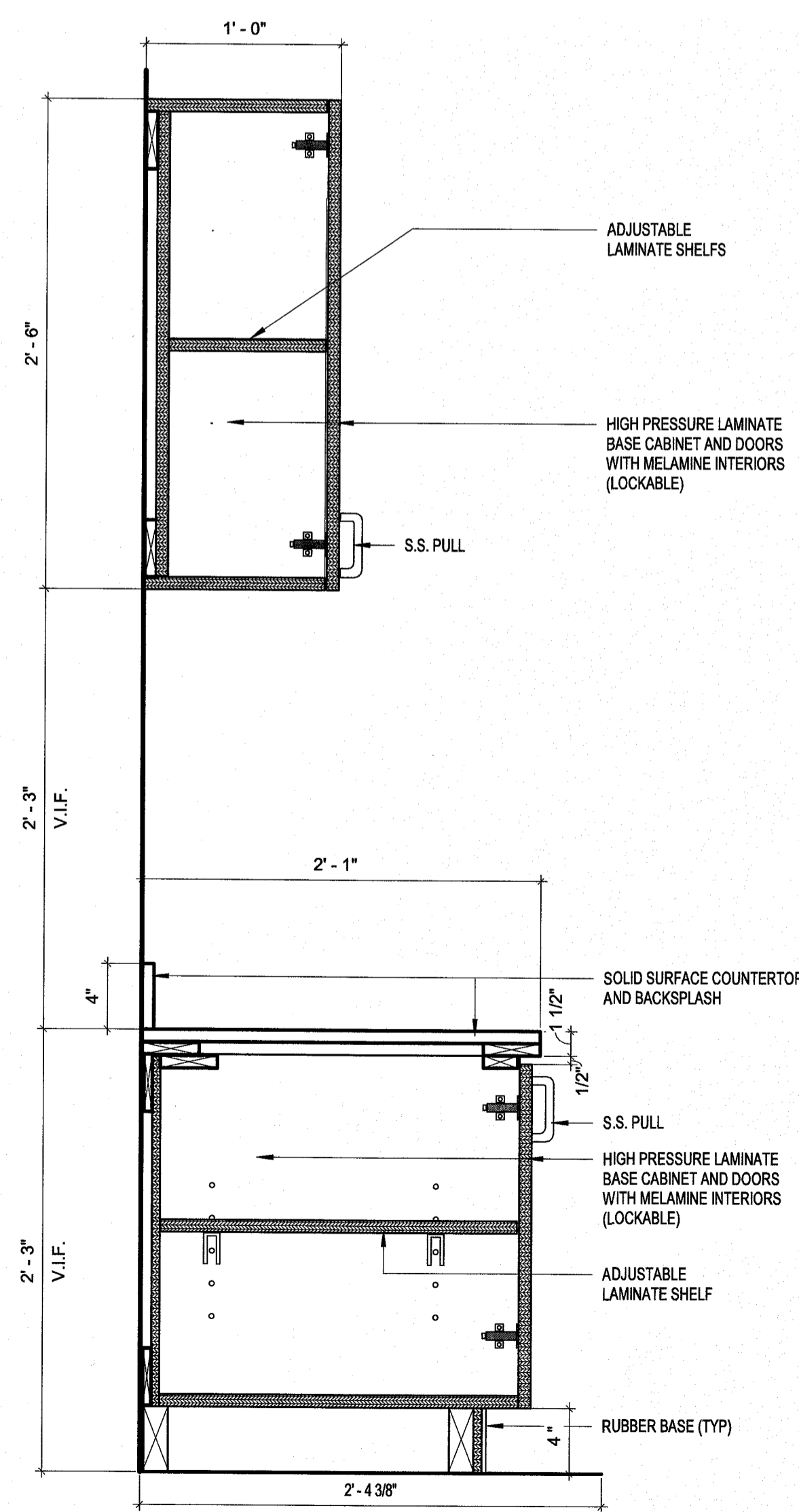
6 CASEWORK ELEVATION CLASSROOM 106 - New & Alternate

A4.2 3/8" = 1'-0"



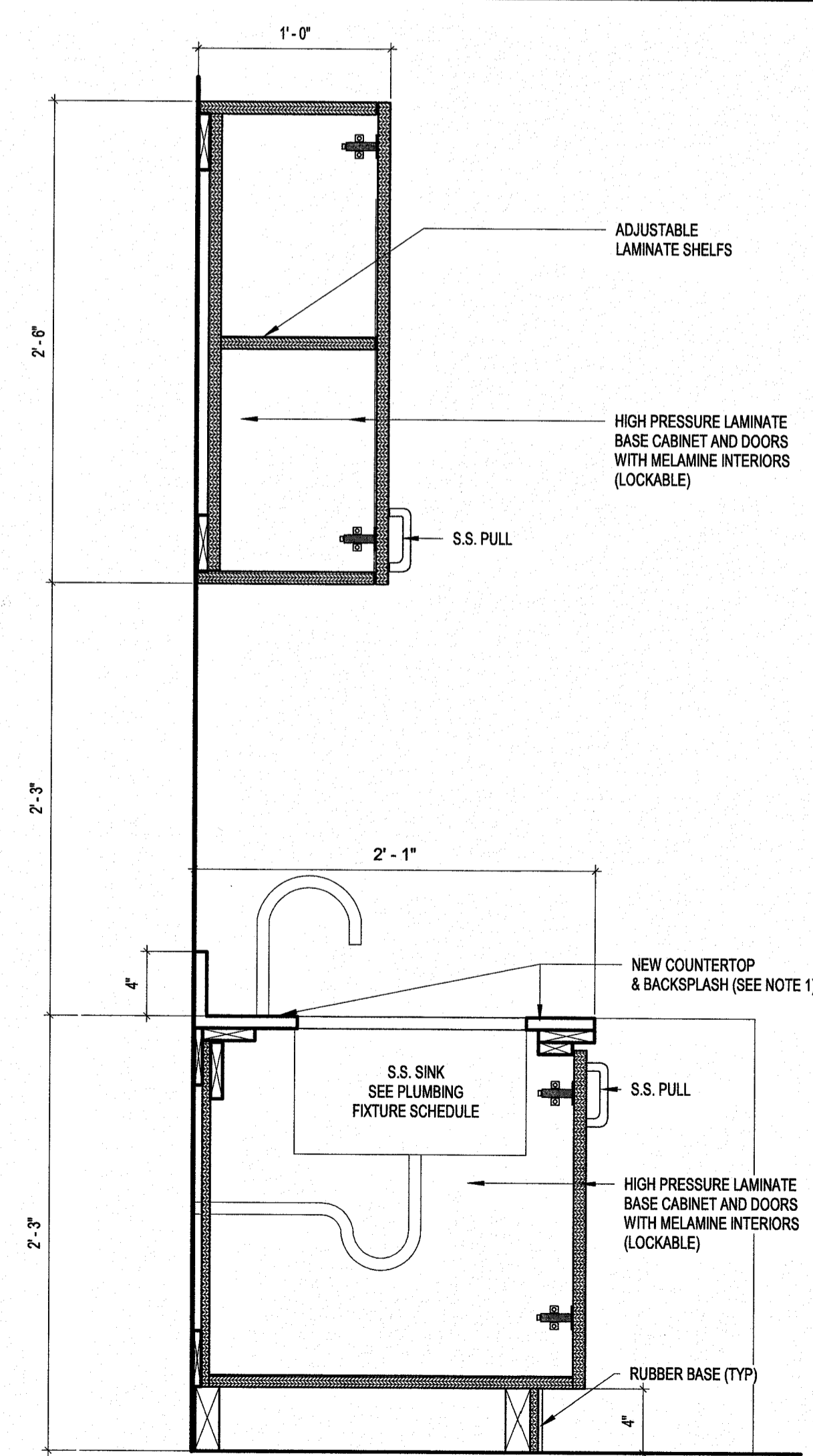
2 TYPICAL CASEWORK ELEVATION - New & Alternate

A4.2 3/8" = 1'-0"



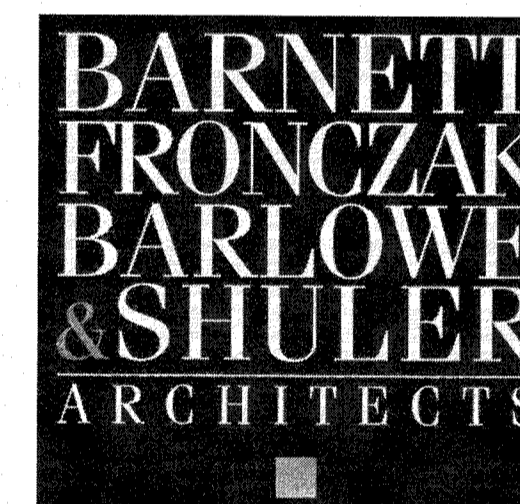
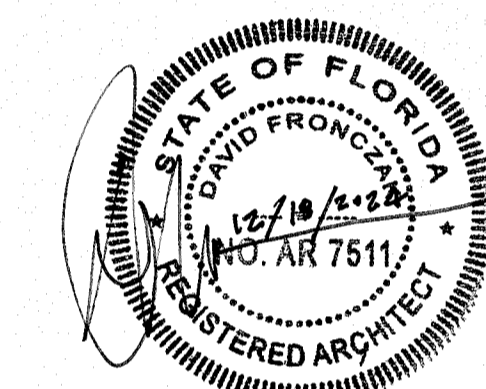
4 BASE AND UPPER CABINET - Alternate

A4.2 1 1/2" = 1'-0"



3 UPPER & BASE CABINET WITH SINK

A4.2 1 1/2" = 1'-0"



OAKRIDGE
 ELEMENTARY
 SCHOOL
 RESTROOM
 RENOVATIONS

19700 Drawn By: JH
 Project Code Checked By: DF

31 DECEMBER 2024
 Date

CONTRACT
 DOCUMENTS

Revisions

- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲
- ▲

CASEWORK

Tallahassee Florida

A4.2

GENERAL REQUIREMENTS**Summary of work:**

The Work consists of all work necessary to renovate student toilet rooms at Oak Ridge Elementary School as shown on the 100% Construction Documents titled Oakridge Elementary School Restroom Renovations located at 4530 Shelfer Road, Tallahassee, Florida by Barnett Fronczak Barlowe and Shuler Architects. The Work includes, but is not limited to, asbestos abatement, cast-in-place concrete, cutting and patching, selective demolition, rough carpentry, plastic laminate architectural cabinets with solid surface countertops, insulation, joint sealants, steel hollow metal doors and door frames, finish hardware, glazing in wood doors, interior metal framing, gypsum board, ceramic tile, acoustical panel ceilings, resilient tile flooring and base (Owner provided), painting, painting, toilet accessories, signage (Owner provided), toilet exhaust systems, lighting, plumbing and electrical work.

Comply with requirements of applicable product or trade standards, except when more rigid requirements are specified or are required by applicable codes. Substitutions are allowed for all products and materials specified below, unless otherwise noted.

Substitutions: All products specified may be substituted for an approved equal unless specifically noted otherwise. Upon review of any submittal containing complete documentation, the Owner may accept the Product or Assembly. Approval must be in writing before installation by Leon County School Board or its designee.

The Contractor shall limit the impact of his work on all systems, equipment and security of all areas within the scope of this work. Coordinate protection and security of areas with Leon County or its designee.

The following specifications are general in nature and apply only where applicable, as shown on the Drawings.

02 DEMOLITION AND SITE WORK

Protection of Existing: Provide protection for all existing elements in the Project and in the Work Area. Provide dust and debris containment barriers protecting existing areas as needed. Coordinate location and type of protection with Architect and Site Manager.

Remove asbestos containing mastic on the restroom foyer floors (101B - 118B). It is estimated that there is approximately 28 sf of 12" non-ACM tile and black tile mastic on the slab. Abate tile and mastic by a Florida Licensed Abatement Contractor following standard abatement industry guidelines and practices. Provide air monitoring. A Final Air Monitoring Reprt will be provided by a Third Party.

Abatement Procedures shall be in accordance with correspondence from Michael K. Varner, P.E. of Southern Earth Sciences to Mr. Carl Green dated 16 March 2009.

Cutting and Patching: Cut in place construction for installation of components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition. Protect in-place construction during cutting and patching to prevent damage. Where existing services/systems are required to be removed, relocated or abandoned, bypass such services/systems before cutting to prevent interruption to occupied areas.

Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other Work. Patch with durable seams that are as invisible as practical. Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will minimize evidence of patching and refinishing.

Selective Demolition: Remove or Remove and Salvage all items noted on the Drawings. Protect all existing utility services, piping and other construction from damage that are noted or implied to remain. Replace any piping with compatible products of an equal value as the piping being replaces or impacted.

Remove existing walls in partial segments. Coordinate demolition and shoring with floor/ceiling framing above and below. Set up temporary shoring as needed until completion of new wall framing.

Remove Demolition Waste material from the Project site and legally dispose of.

03 CONCRETE

Cast-in-Place Concrete: All concrete work shall conform to the American Concrete Institute's "Building Code Requirement for Structural Concrete" (A.C.I. 318-11). Concrete shall have a minimum compressive strength at 28 days of 3,000 psi.

All slab-on-grade construction shall be 4" thick concrete reinforced with 6 x 6 - W1.4 x W1.4 welded wire fabric. See Structural Drawings

06 WOOD AND PLASTICS

Rough Carpentry: Provide all wood furring, grounds nailers and blocking. Comply with PS 20 "American Softwood Lumber Standard" and PS 1 "U.S. Product Standard for Construction and Industrial Plywood," dressed S4S, 19% max. moisture content. No. 2 grade or better. Install wood grounds, nailers and blocking behind toilet accessories and where required for attaching of other work. Form to shapes required for true level and line of attached work. Coordinate locations with other work involved.

Nails, Wire Brads and staples shall comply with FS FF-N-105 and wood screws shall comply with ASME B18.6.1

Plastic Laminate-Clad Architectural Cabinets: Provide Architectural Plastic Laminate Faced cabinets, wood furring, blocking, shims and hanging strips for installing cabinets and shop finishing.

For Plastic Laminate Clad Architectural Cabinets, comply with Leon County Schools Master Specifications 2023 "Section 064116 Plastic-Laminate-Clad Architectural Cabinets." Provide cabinets that comply with AWI premium grade construction. Provide product data, details and shop drawings consisting of dimensioned plans and elevations, large scale details, attachment devices and other components. Provide samples of plastic laminates and solid surfacing materials to match Architects sample.

Wood for cabinet bodies shall be particleboard complying with ANSI A208.1, Grade M-2-Exterior Glue. Drawer subfronts, backs and sides shall be of solid hardwood lumber.

For Solid Surface Countertops, comply with Leon County Schools Master Specifications 2023 "Section 123661.16 Solid Surfacing Countertops."

07 Sealants and Caulking: Provide Nonstaining, Silicone sealant, single component for all interior applications. Joint sealant shall be neutral curing, non-traffic to comply with ASTM C 920, Type S, Grade NS, Class 50.

Provide Acrylic latex joint sealants at perimeter joints between interior wall surfaces and frames of interior doors and other joints as indicated on the Drawings

Acrylic latex joint sealants shall be Tremco Incorporated Tremflex 834 or comparable product approved by the Architect.

Silicone joint sealants shall be Dow Corning 795 or comparable product approved by the Architect.

08 DOORS AND WINDOWS

Steel Doors and Door Frames: Comply with Steel Door Institute "Recommended Specification for Standard Steel Doors and Frames" ANSI/SDI-100, Grade II for interior doors. Provide galvanized units. Frames shall be minimum 16 gauge. Coordinate hardware installation with supplier of finish hardware.

Provide prime painted finish, manufacturer's standard factory applied coat of rust inhibiting primer complying with ANSI 250.10.

Finish Hardware: Provide door hardware for swinging doors as scheduled on the Drawings. All hardware shall comply with the Florida Accessibility Code for Building Construction.

For Door Hardware, comply with Leon County Schools Master Specifications 2023 "Section 087100 - Door Hardware."

Keying shall be as directed by the Owner. Install each door hardware item to comply with manufacturer's written directions.

Glazing: Provide glazing for wood doors. Provide 1/4 inch tempered glass units to meet applicable requirements and regulations of authorities having jurisdiction.

09 FINISHES

Ceramic Tile: Ceramic wall tile materials are designated on the Drawings. Do not install tile products until construction in spaces are completed and temperature/humidity conditions are maintained to meet manufacturer's written instructions. Provide Latex-Portland Cement mortar materials in accordance with ANSI A118.4 and Latex Portland Cement grout materials in accordance with ANSI A118.6.

Floor tile shall installed by tile method TCA F113 (thin-set mortar bonded to concrete sub-floor).

Remove latex-portland cement grout residue from tile as soon as possible

Acoustical Panel Ceilings: Provide acoustical ceiling consisting of acoustical panels with exposed suspension systems as shown on the Drawings. Coordinate layout and installation of acoustical panels and suspension system with other construction that penetrates ceilings or is supported by them, including light fixtures, HVAC equipment, fire suppression system and partition assemblies.

Provide acoustical panel products as delineated on the Drawings.

Resilient Tile Flooring: The Owner will provide resilient flooring, base and accessories

For Resilient Tile Flooring, comply with Leon County Schools Master Specifications 2023 "Section 096519 Resilient Tile Flooring."

Do not apply flooring over existing surfaces until are sufficiently dry and prepared to receive resilient flooring in accordance with manufacturer's recommended bond and moisture test. Examine substrates, areas and conditions where installation of resilient products will occur for compliance with manufacturer's requirements. Verify that substrates and conditions are satisfactory for resilient product installation and comply with requirements specified.

Use trowelable leveling and patching compounds according to manufacturer's written instructions, to fill cracks, holes and depressions in substrates. Remove coatings, including curing compounds and other substances that are incompatible with flooring adhesives using mechanical methods recommended by manufacturer. Do not use solvents.

Clean floor surfaces and apply a minimum of four coats of protective floor finish. Comply with Owner's maintenance program.

Painting: The Scope of Work includes painting all exposed interior surfaces. Painting includes field painting of exposed bare and covered pipes and ducts, hangers, exposed steel and iron work, and primed metal surfaces of mechanical and electrical equipment.

Comply with Leon County Schools Master Specifications 2023 "Section 099123 Interior Painting."

Do not paint prefinished items, concealed surfaces, finished metal surfaces, operating parts and labels

Examine substrates, areas and conditions under which painting will be performed for compliance with paint application requirements. Clean and prepare surfaces to be painted according to manufacturer's written instructions for each particular substrate condition. Provide barrier coats over incompatible primers or remove and reprime. Provide block fillers, primers, undercoats and finish-coat materials that are compatible with one another and the substrates indicated under conditions of service and application, as demonstrated by manufacturer based on testing and field experience.

Apply paint according to manufacturer's written instructions. Use applicators and techniques best suited for substrate and type of material being applied. Provide the following finish systems. Paint materials shall be best quality products by Devoe, Fuller, Glidden, Moore, PPG or Pratt and Lambert:

Gypsum wallboard partitions and ceilings: Provide 2 coats latex egg shell latex enamel over a primer for ceilings and a semi-gloss Acrylic-Enamel finish over a primer for walls.

Ferrous metal (interior): Provide 2 coats of full gloss, Alkyd-Enamel finish over a galvanized metal primer.

Non-Structural Metal Framing: Provide non-load bearing steel framing systems for interior partitions and suspension systems for interior ceilings and soffits.

Steel studs and tracks shall be roll-formed and embossed with surface deformations equivalent to conventional ASTM C645 steel studs and tracks. Minimum base metal thickness shall be as required by horizontal deflection requirements. Depth shall be as indicated on the Drawings.

Hat-shaped, rigid furring channels shall comply with ASTM 645 with a minimum base metal thickness of 0.0179 inch and a depth of 7/8 inch.

Install framing in accordance with ASTM C754 and ASTM C840 that apply to framing installation. Install framing and accessories plumb, square and true to line, with connections securely fastened. Install supplementary framing and blocking to support fixtures, equipment services, heavy trim, grab bars, toilet accessories, furnishings or similar construction. Framing shall be spaced at 16 inches o.c. unless otherwise indicated.

Install framing to comply with fire-resistance rated assembly indicated and support closures and to make partitions continuous from floor to underside of solid structure.

Gypsum Board Assemblies: Provide interior gypsum wallboard as required or as shown on the Drawings.

Interior gypsum wallboard shall be in accordance with ASTM C36, 5/8" thickness, Type "X". Joint treatment materials shall comply with ASTM C 475 and shall be setting type sandable compound. Provide glass fiber sound attenuation blankets without membrane facing in all new walls.

Steel screws shall be in accordance with ASTM C 954 for fastening members to steel members.

All framing shall be installed in accordance with manufacturer's recommendations and installation standards ASTM C 754 and ASTM C 840.

10 SPECIALTIES

Toilet Accessories: Provide toilet accessories as delineated on the Drawings. Prior to ordering of accessories, verify with Owner product designations and operation. Coordinate accessory locations with other Work to prevent interference with clearances required for access by disabled persons, proper installation, adjustment, operation, cleaning and servicing of accessories.

Mirrors shall be warrantied for a minimum of 15 years from date of Substantial Completion.

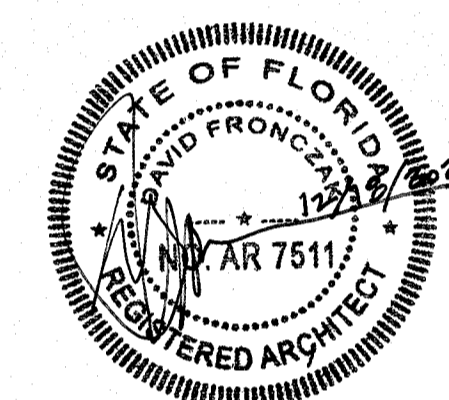
Install accessories according to manufacturer's written instructions, using fasteners appropriate to substrate indicated and recommended by unit manufacturer. Install units lever, plumb, and firmly anchored in locations and at heights indicated.

Signage (Owner provided): Provide ADA compliant accessible restroom exterior rated signage for each Restroom. Signs shall be 6 inches W x 9 inches H with raised tactile graphics and wording. Signage shall include Braille identification.

Fire Extinguishers: Provide 5 lb. unit with 3A40BC rating standard. Provide one fire extinguisher in locations shown on the Drawings.

GENERAL NOTES

- These plans and specifications are the property of the Leon County School Board (LCSB). The use or copy of these Documents is permitted by contract only. Any unauthorized use of, or revisions to these plans, regardless of scope, without written permission of the (LCSB) is prohibited.
- The Contractor shall field verify all dimensions and conditions. If the Contractor is unable to interpret the contract documents, he is responsible for requesting clarification in writing to the Architect. If the Contractor proceeds with any work before obtaining clarification, he shall be responsible for all associated deficiencies.
- Prior to commencement of the work, the Contractor shall visit the site to examine the premises and become familiar with existing conditions under which he will be obliged to operate and complete the work under this contract. No allowance will be made subsequently in this connection on behalf of the Contractor for any error or negligence on his part.
- The Contractor shall coordinate the work with all subcontractors and sequence construction to minimize interruptions to the normal operations of the Owner. This coordination shall be reviewed and approved by the Site Manager.
- The Contractor shall maintain all egress paths clear. Where an egress path must be temporarily blocked, the Contractor shall provide barricades and directional signs as needed to maintain exiting and safety.
- The Contractor shall erect and maintain all reasonable safeguards for safety and health, including posting danger signs and other warning against hazards, as well as promulgating safety standards.
- The Contractor shall be restricted to areas specified by the Site Manager for on-site storage of materials.
- The Contractor shall maintain a clean work premise at all times and shall clean construction site of all debris daily. The work premise shall be clean at completion of job and before final payment is made.
- The Contractor shall install all items and systems required by these plans in accordance with the manufacturer's directions unless required otherwise by these plans or any applicable building code or regulation.
- All work shall be installed in accordance with all applicable building codes or regulations currently in effect at the time of construction. Where conflicts occur between codes and between construction documents and codes, the most restrictive requirements shall govern unless restricted otherwise by local statutory requirements.



OAKRIDGE
ELEMENTARY
SCHOOL
RESTROOM
RENOVATIONS

19700 Drawn By: DF
Project Code Checked By: DF

31 DECEMBER 2024

Date

CONTRACT
DOCUMENTS

Revisions

△
△
△
△
△
△
△

ARCHITECTURAL
SPECIFICATIONS

Tallahassee Florida

A5.1

2074 Centre Pointe Blvd, Suite #200, Tallahassee, FL 32308
Phone 850 224-6301 Fax 850 561-6978