

EXISTING CONDITIONS / DEMOLITION PLAN - FLOOR PLAN

1801 HERMITAGE BOULEVARD - 5TH FLOOR

SC: 1/8" = 1'-0"

GENERAL NOTES

NOTE - THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

LIMITS OF ALTERATION WORK - ALTERATION WORK ZONE LIMITS ARE ESTABLISHED ON THE DRAWINGS. ALL ALTERATION WORK CONTRACTORS AND TRADES SHALL COORDINATE THEIR WORK WITH ONE ANOTHER WITHIN THE ESTABLISHED LIMITS.

SEQUENCE OF ALTERATION WORK - IN THE EVENT THAT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY OWNER, THE CONTRACTOR SHALL ARRANGE A CONFERENCE WITH THE OWNER FOR THE PURPOSE OF ESTABLISHING ANY SPECIAL SCHEDULING BEFORE ANY SUCH WORK IS BEGUN.

INDEFINITE UNDERGROUND UTILITIES OR OTHER SERVICES AS MAY BE UNCOVERED SHALL NOT BE DISTURBED BUT BROUGHT TO THE ARCHITECT'S ATTENTION FOR DIRECTION AS TO HOW TO PROCEED.

TEMPORARY SHORING - PROVIDE ANY TEMPORARY SHORING, CRIBBING OR UNDERPINNING AS MAY BE REQUIRED OR DIRECTED BY THE ARCHITECT AT ANY TIME AND IN ANY PORTION OF THE ALTERATION WORK FOR THE DURATION OF SUCH WORK.

GENERAL CUTTING AND PATCHING - PERFORM ANY AND ALL CUTTING AND PATCHING AND GENERAL RESTORING AS MAY BE OCCASIONED BY THE ALTERATION WORK.

SPECIAL PERMITS - SECURE ANY AND ALL PERMITS TO DEMOLISH AND RENOVATE AS MAY BE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION OVER SUCH WORK.

DEMOLITION

DEMOLITION WORK - ENTIRELY DEMOLISH ON THE SITE ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED.

WITH THE EXCEPTION OF ANY SALVAGEABLE ITEMS, AS DIRECTED TO BE RETAINED BY OWNER, ALL REMOVED STRUCTURES AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR WHO SHALL PROMPTLY REMOVE THEM FROM THE PREMISES. NO SUCH ITEMS SHALL BE STORED OR THEM FROM THE PREMISES. NO SUCH ITEMS SHALL BE STORED OR ACCUMULATED ON THE PREMISES.

SALVAGE - ALL ITEMS DEEMED SALVAGE BY OWNER WILL EITHER HAVE BEEN INDICATED ON THE DRAWINGS, REMOVED PRIOR TO START OF ALTERATION WORK, OR WILL BE DIRECTED BY OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ANY ITEMS TO BE RELOCATED WILL HAVE BEEN INDICATED ON THE DRAWINGS.

- SITE WORK - PROTECT AS NECESSARY ANY EXISTING VEGETATION, TREES OR THE LIKE IMMEDIATELY ADJACENT TO THE LIMITS OF THE ALTERATION WORK WHICH ARE INDICATED ON THE DRAWINGS TO REMAIN, OR IN ANY CASE ARE NOT STATED OR DIRECTED TO BE REMOVED.
- CONCRETE - EXERCISE DUE CAUTION IN CUTTING AND PATCHING, CHIPPING OR GENERAL CONCRETING SO AS NOT TO DEFACE THAT PORTION OF THE EXISTING STRUCTURE WHICH IS TO REMAIN.
- STRUCTURAL STEEL AND CARPENTRY - IN THE COURSE OF ALTERATION WORK SHOULD CONTRACTOR ENCOUNTER, IN EXPOSING FORMERLY COVERED FRAMING, ANY UNFORESEEN STRUCTURAL DEFECT WHICH MIGHT JEOPARDIZE ANY PART OF THE EXISTING BUILDING OR THE NEW WORK, HE SHALL SHORE UP OR OTHERWISE SUPPORT THE EXPOSURE FOR EASE OF INSPECTION BY OWNER'S REP. OR ARCHITECT WHO WILL DIRECT REPAIR. ADDITIONAL COMPENSATION WILL BE MADE FOR SUCH WORK.
- ROOFING - WHERE NEW ROOFING IS TO ADJOIN AND EXTEND EXISTING ROOFING, EXERCISE ALL NECESSARY PRECAUTIONS TO MAINTAIN WATERTIGHTNESS AND TO AVOID DAMAGING THAT PORTION OF THE EXISTING ROOFING WHICH IS TO REMAIN, AND REPAIR ANY DAMAGE TO EXISTING ROOFING SHOULD ANY BE ENCOUNTERED WITHIN THE LIMITS OF THE ALTERATION WORK.
- MASONRY - IN TOOTHING OR CUTTING BACK FOR JOINERY TO OR CONTINUING AN EXISTING MASONRY SURFACE, EXERCISE CARE SO AS NO TO WEAKEN STRUCTURALLY THAT PORTION OF THE STRUCTURE WHICH IS TO REMAIN.
- DRYWALL - WITHIN THE LIMITS OF THE ALTERATION WORK, SHOULD ANY PORTION OF EXISTING DRYWALL SURFACES BE DENTED, BROKEN, SCRATCHED OR UNFASTENED, SPACKLE WITH DRYWALL CEMENT, REFASTEN OR OTHERWISE REPAIR.
- PLUMBING AND ELECTRICAL - IN ANY CASE WHERE A NEW LINE MAY TIE INTO AND EXTEND AN EXISTING LINE WITHIN THE LIMITS OF THE ALTERATION WORK, EXAMINE THE ENTIRE EXISTING LINE AND DETERMINE WHETHER THE NEW WORK WILL BE ADVERSELY AFFECTED BY IT, AND NOTIFY THE ARCHITECT OF ANY SUCH DEFECT BEFORE TYING IN.
DISCONNECT AND SEAL ANY UTILITIES SERVING STRUCTURES TO BE DEMOLISHED.

RENOVATION

- WHERE EXISTING PIPING IS DESIGNATED TO BE REMOVED AND CAPPED, ALL PIPING SERVING THE DESIGNATED FIXTURE SHALL BE REMOVED FROM WITHIN WALLS TO THE POINT DESIGNATED ON THE DRAWINGS OR TO A CLEARLY VISIBLE POINT BELOW THE FLOOR IN THE CRAWL-SPACE OR ABOVE THE CEILING. PIPING SHALL BE CAPPED BY APPROVED CAPPING METHODS UTILIZING PIPE CAPS INTENDED FOR SUCH USE. ALL CAPS SHALL BE AIRTIGHT AND WATERTIGHT.
- EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS ARE TAKEN FROM ORIGINAL AND AS-BUILT DRAWINGS OF THE BUILDING AND IN PART ARE UNVERIFIED. FIELD CONDITIONS SHALL GOVERN. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO INITIATION OF WORK.
- PIPING WHICH IS TO REMAIN IN SERVICE SHALL NOT BE DISTURBED. EXISTING PIPING BROKEN DURING CONSTRUCTION SHALL BE REPLACED WITH NEW PIPING OF THE SAME SIZE AND MATERIAL.
- ALL EXISTING PLUMBING FIXTURES TO BE REMOVED AND ARE NOT TO BE REUSED SHALL REMAIN THE PROPERTY OF THE OWNER. DISCARD UNWANTED FIXTURES AT THE DISCRETION OF THE OWNER.
- PLUMBING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS APPROVED BY THE AUTHORITIES HAVING JURISDICTION TO THE ARCHITECT/ENGINEER FOR ANY PIPING CONFIGURATIONS AND SIZES THAT DIFFER FROM THOSE SHOWN ON PLUMBING DRAWINGS AS A RESULT OF EXISTING SITE CONDITIONS AND/OR EXISTING PIPING LOCATIONS.
- COORDINATE WITH GENERAL CONTRACTOR TO PATCH ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. AS REQUIRED BY NEW WORK.
- CONTRACTOR SHALL SAW CUT AND REMOVE SLAB 12" WIDE TRENCH (OR AS REQUIRED) FOR INSTALLATION OF UNDERGROUND WASTE OR WATER PIPING. POUR AND FINISH 4" THICK, 3,000 PSI CONCRETE IN WASTE TRENCH TO MATCH FLUSH WITH EXISTING.
IN AREAS INDICATED FOR RENOVATION, REMOVE ALL ELECTRICAL DEVICES, WIRING AND CONDUITS EXPOSED BY DEMOLITION. REMOVE CIRCUIT CONDUCTORS BACK TO PANEL OR TO THE LAST DEVICE REMAINING IN SERVICE. ALL DEVICES REMAINING IN SERVICE SHALL HAVE CIRCUITS EXTENDED TO THE NEW PANELS AS NECESSARY TO RESTORE SERVICE TO THE SAME CONDITION AS BEFORE DEMOLITION.

KEYNOTES

- INDICATES EXISTING WALL, AT THIS AREA TO REMAIN. G/WB TO REMAIN, REMOVE ANY EXISTING WALL COVERING PATCH AND REPAIR WALL IF NEEDED. SEE DEMOLITION NOTES.
- REMOVE ALL NON-LOAD BEARING EXISTING WALL, FINISHES, AND UTILITIES TO EXTENT SHOWN. SEE DEMOLITION NOTES.
- EXISTING DOOR, WINDOW, FRAME, & HARDWARE TO BE REMOVED.
- EXISTING DOOR, FRAME, & HARDWARE TO REMAIN
- EXISTING ACT & GRID TO BE REMOVED
- EXISTING COLUMN TO REMAIN
- MODULAR FURNITURE TO BE RELOCATED OR REMOVED
- EXISTING MILLWORK TO BE REMOVED

CONTRACTOR TO COORDINATE ANY ELEMENTS THE OWNER WANTS TO SALVAGE OR KEEP PROTECTED.

INDICATES EXISTING WALL, DOOR, FINISH, FIXTURE, UTILITY, ETC. TO REMAIN. SEE KEYNOTES AND DEMOLITION NOTES.

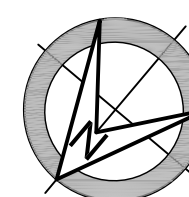
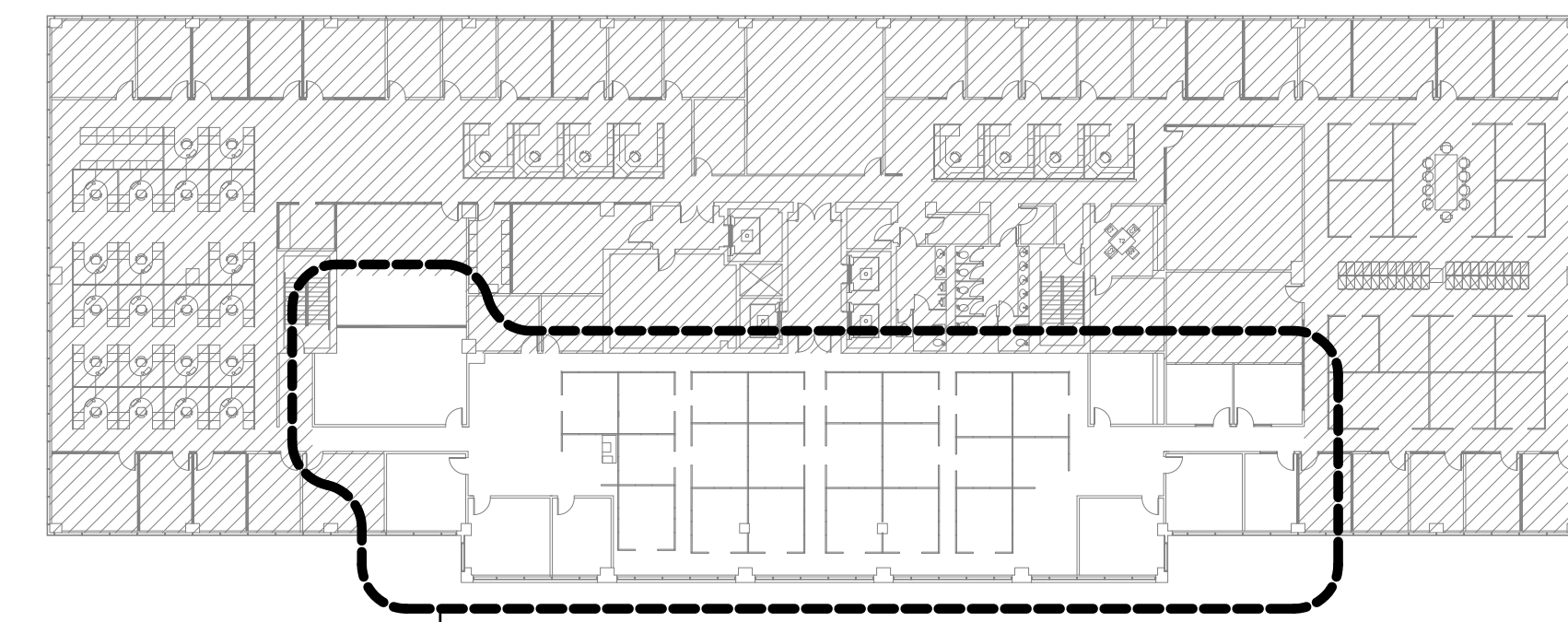
INDICATES EXISTING WALL, DOOR, FINISH, FIXTURE, UTILITY, ETC. TO BE REMOVED. SEE KEYNOTES AND DEMOLITION NOTES.

EXISTING CONDITIONS AS SHOWN ARE BASED ON FIELD MEASUREMENTS AND MAY VARY FROM ACTUAL FIELD CONDITIONS. ACTUAL FIELD CONDITIONS SHALL GOVERN.

PRIOR TO BIDDING, ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS TO DETERMINE THE SCOPE OF WORK NECESSARY TO ACHIEVE THE PROPOSED CONDITIONS AS SHOWN ON THE PLANS.

CONTRACTOR(S) SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

KEY PLAN



KEY PLAN

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PROJECT
5TH FLOOR HERMITAGE BUILDING
1801 HERMITAGE BOULEVARD TALLAHASSEE, FLORIDA

TITLE
EXISTING CONDITIONS / DEMOLITION PLAN

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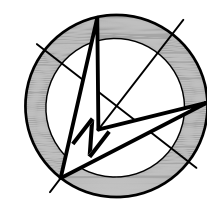
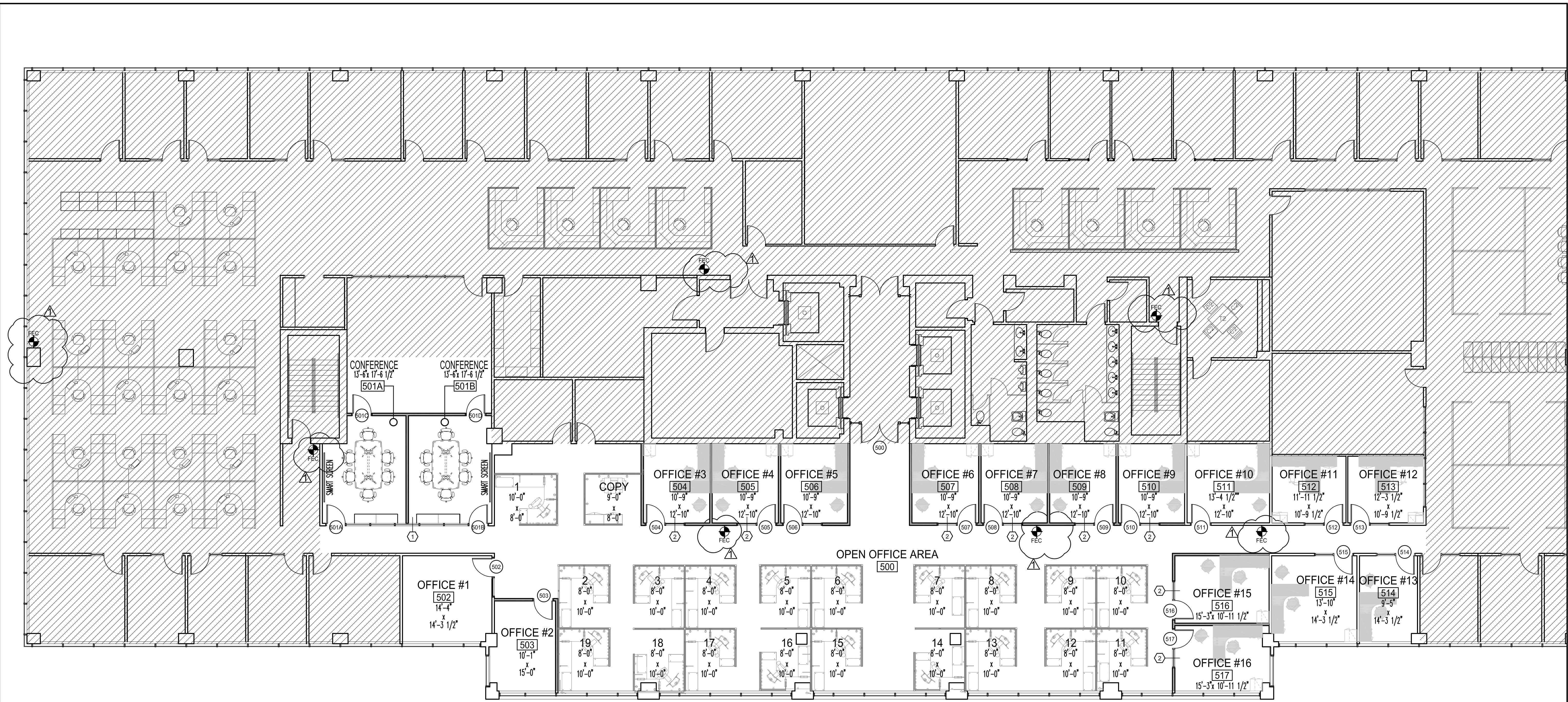
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PROPOSED FLOOR PLAN - LABELED

1801 HERMITAGE BOULEVARD - 5TH FLOOR

SC: 1/8" = 1'-0"

NOTE. THERE ARE NO FIRE-RATED WALLS PROPOSED WITHIN THE ALTERED AREA.

GENERAL NOTES - PROPOSED

- NOTE: ALL DIMENSIONS ARE TO OUTSIDE FACE OF STUD WALL FRAMING FOR ALL NEW WALLS UNLESS OTHERWISE INDICATED.
- NOTE: ALL DIMENSIONS TO EXISTING WALLS ARE TO OUTSIDE FACE OF FINISH UNLESS NOTED OTHERWISE.
- NOTE: ALL NEW WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR/CEILING UNLESS NOTED OTHERWISE.
- NOTE: ALL CONSTRUCTION SHALL BE AS PER CODES STATED ON THE COVER SHEET.
- NOTE: THE ELEVATION OF FLOOR SURFACES ON BOTH SIDES OF ALL DOORS SHALL NOT VARY MORE THAN 1/2". THE ELEVATION SHALL BE MAINTAINED ON BOTH SIDES OF A DOORWAY FOR A DISTANCE AT LEAST EQUAL TO THE WIDEST LEAF. (TYPICAL)
- NOTE: VERIFY ALL DIMENSIONS AND CLEARANCES WITH PROPOSED FIXTURES PRIOR TO START OF CONSTRUCTION.
- NOTE: THRESHOLDS SHALL NOT EXCEED 1/2 INCH. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4 INCH (6.4 MM) AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50-PERCENT SLOPE).

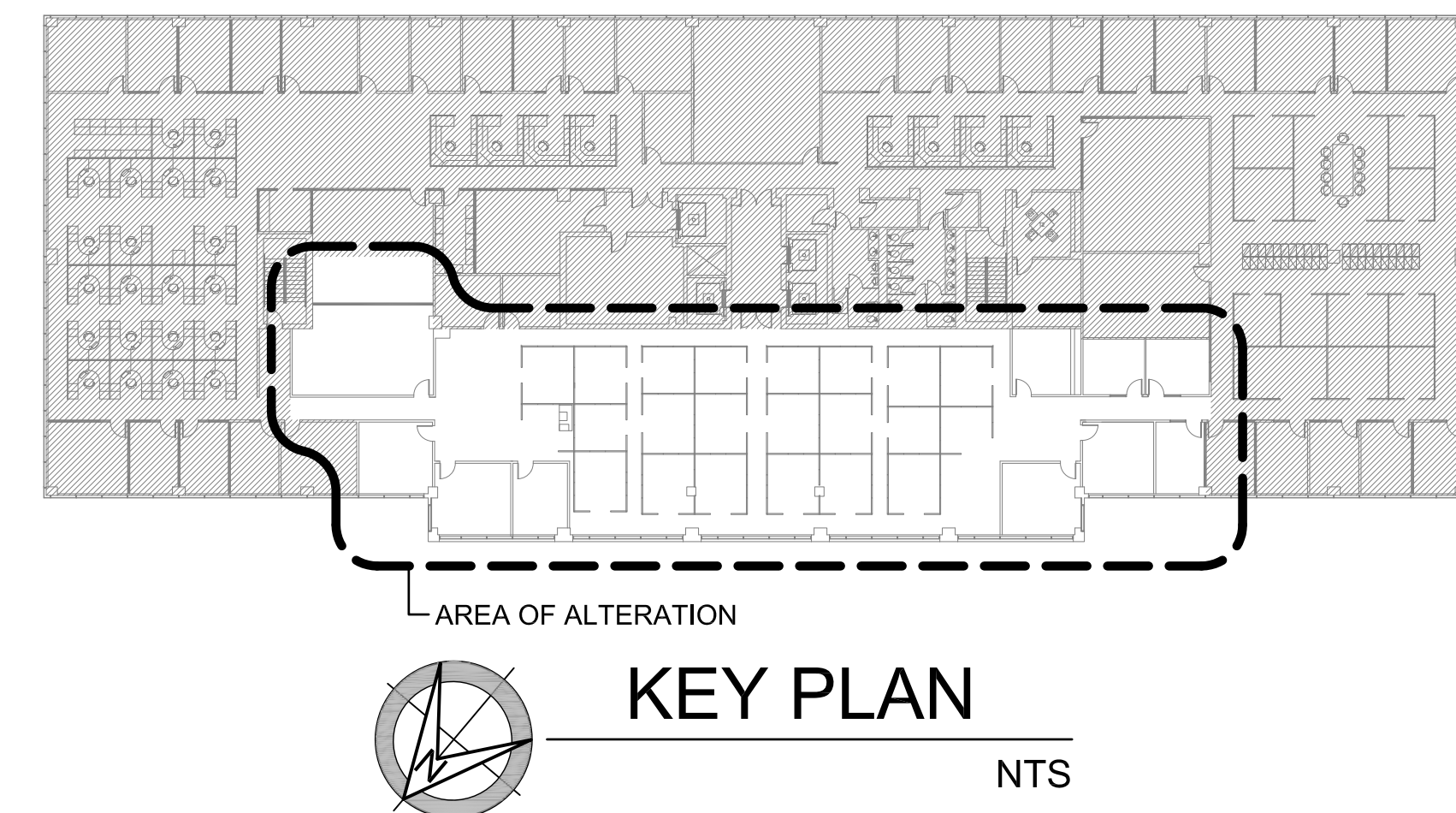
WALL LEGEND - PROPOSED

- EXISTING WALLS.
- NEW 3-5/8" MTL STUDS @ 16" O.C. WITH 1 LAYER OF 1/2" G.W.B. ON EACH SIDE OF STUDS.
- NEW 6" MTL STUDS @ 16" O.C. WITH 1 LAYER OF 1/2" G.W.B. ON EACH SIDE OF STUDS.

SYMBOLS LEGEND - PROPOSED

- NOTE: SEE DOOR SCHEDULE AND ELEVATIONS SHEET FOR ALL DOOR RELATED INFORMATION. XXX
- NOTE: SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR FINISHES AND FINISH REQUIREMENT. XXX
- NOTE: SEE WALL SECTIONS AND BUILDING SECTIONS AS PER TAGS IDENTIFIED LOCATIONS FOR BUILDING MATERIAL INFORMATION. X
X.X

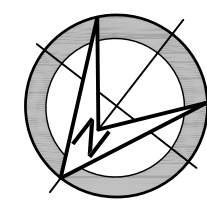
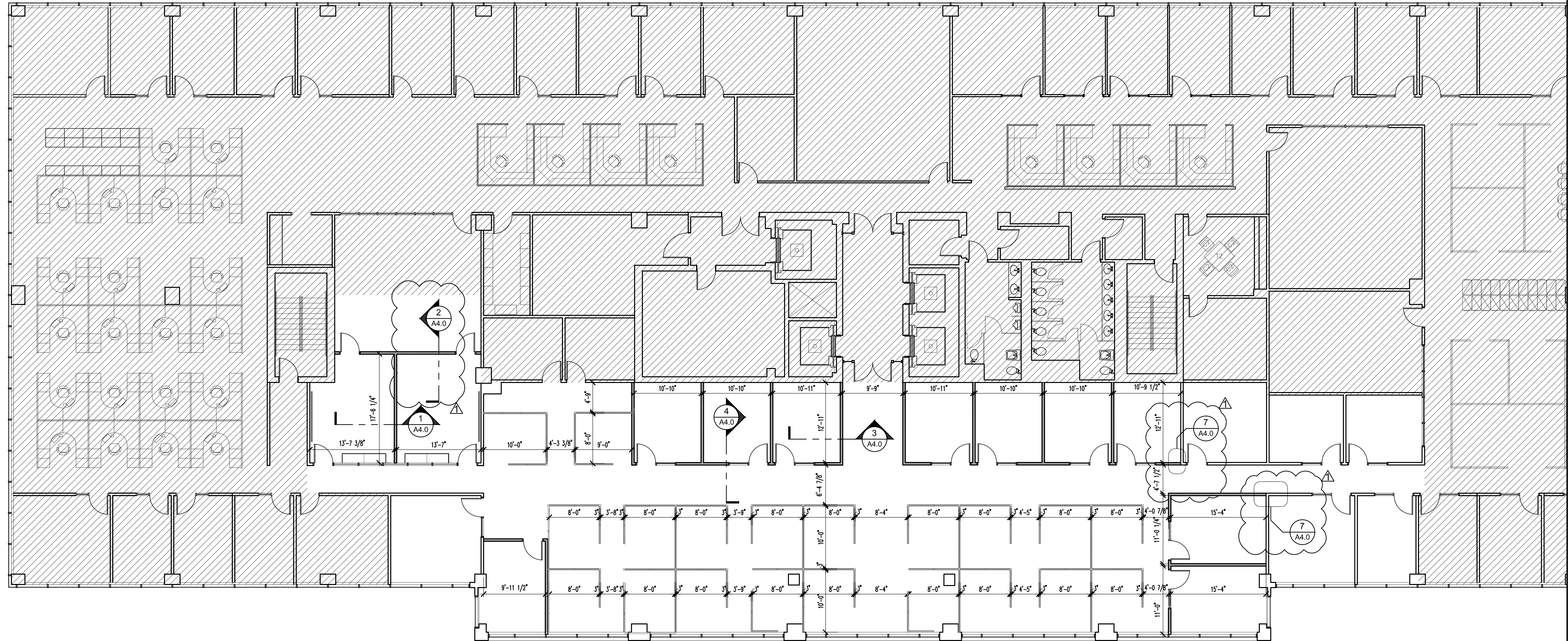
KEY PLAN



PROJECT: 5TH FLOOR HERMITAGE BUILDING
 1801 HERMITAGE BOULEVARD TALLAHASSEE, FLORIDA
 TITLE: PROPOSED FLOOR PLAN - LABELED

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PROPOSED FLOOR PLAN - DIMENSIONED

1801 HERMITAGE BOULEVARD - 5TH FLOOR

SC: 1/8" = 1'-0"

NOTE. THERE ARE NO FIRE-RATED WALLS PROPOSED WITHIN THE ALTERED AREA.

GENERAL NOTES - PROPOSED

- NOTE: ALL DIMENSIONS ARE TO OUTSIDE FACE OF STUD WALL FRAMING FOR ALL NEW WALLS UNLESS OTHERWISE INDICATED.
- NOTE: ALL DIMENSIONS TO EXISTING WALLS ARE TO OUTSIDE FACE OF FINISH UNLESS NOTED OTHERWISE.
- NOTE: ALL NEW WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR/CEILING UNLESS NOTED OTHERWISE.
- NOTE: ALL CONSTRUCTION SHALL BE AS PER CODES STATED ON THE COVER SHEET.
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- NOTE: THRESHOLDS SHALL NOT EXCEED 1/2 INCH. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4 INCH (6.4 MM) AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50-PERCENT SLOPE).

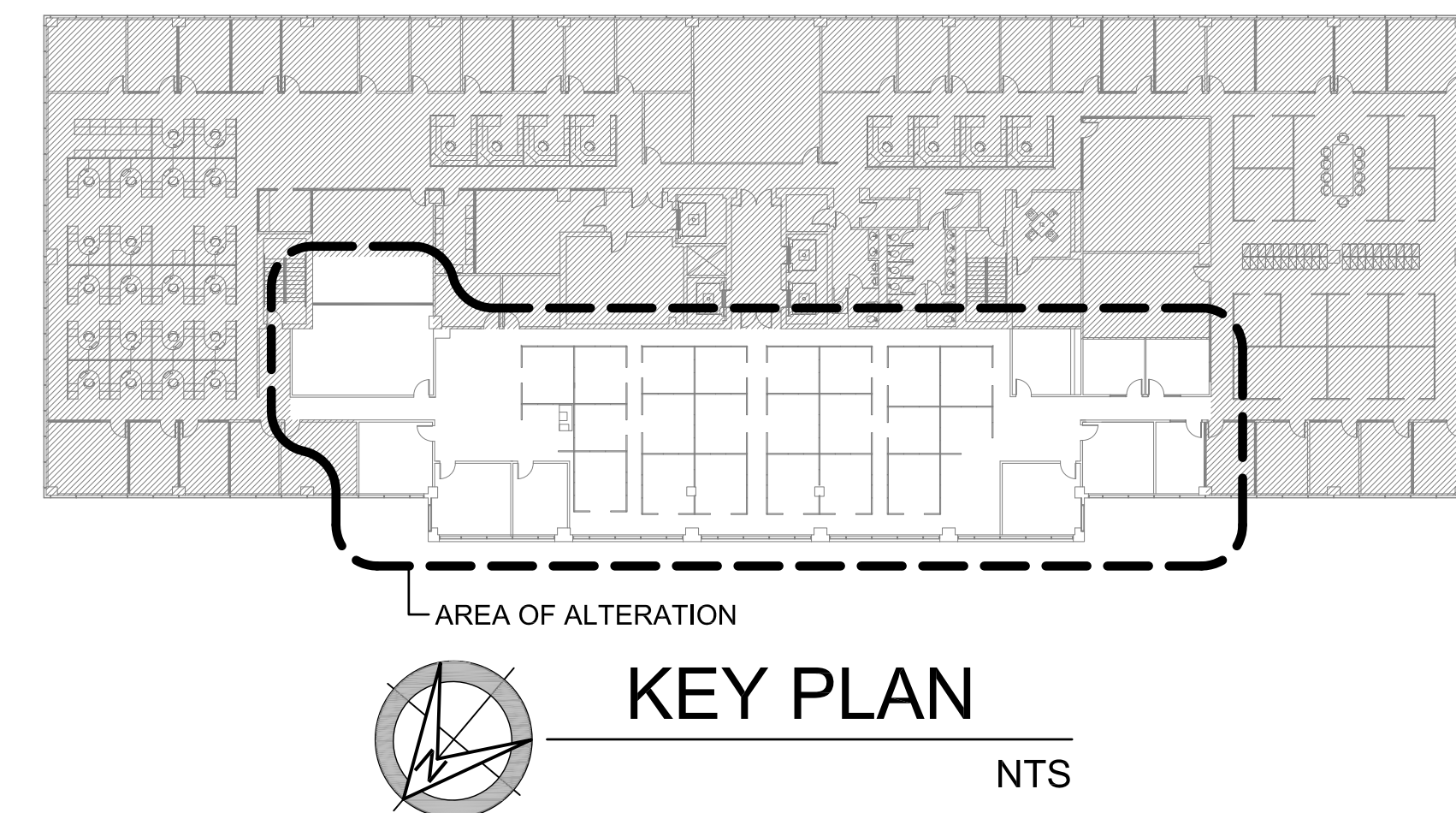
WALL LEGEND - PROPOSED

- EXISTING WALLS.
- NEW 3-5/8" MTL STUDS @ 16" O.C. WITH 1 LAYER OF 1/2" G.W.B. ON EACH SIDE OF STUDS.
- NEW 6" MTL STUDS @ 16" O.C. WITH 1 LAYER OF 1/2" G.W.B. ON EACH SIDE OF STUDS.

SYMBOLS LEGEND - PROPOSED

- NOTE: SEE DOOR SCHEDULE AND ELEVATIONS SHEET FOR ALL DOOR RELATED INFORMATION.
- NOTE: SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR FINISHES AND FINISH REQUIREMENT.
- NOTE: SEE WALL SECTIONS AND BUILDING SECTIONS AS PER TAGS IDENTIFIED LOCATIONS FOR BUILDING MATERIAL INFORMATION.

KEY PLAN



KEY PLAN

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PROJECT
5TH FLOOR HERMITAGE BUILDING
1801 HERMITAGE BOULEVARD TALLAHASSEE, FLORIDA

TITLE
PROPOSED FLOOR PLAN - DIMENSIONED

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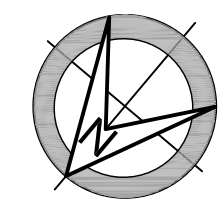
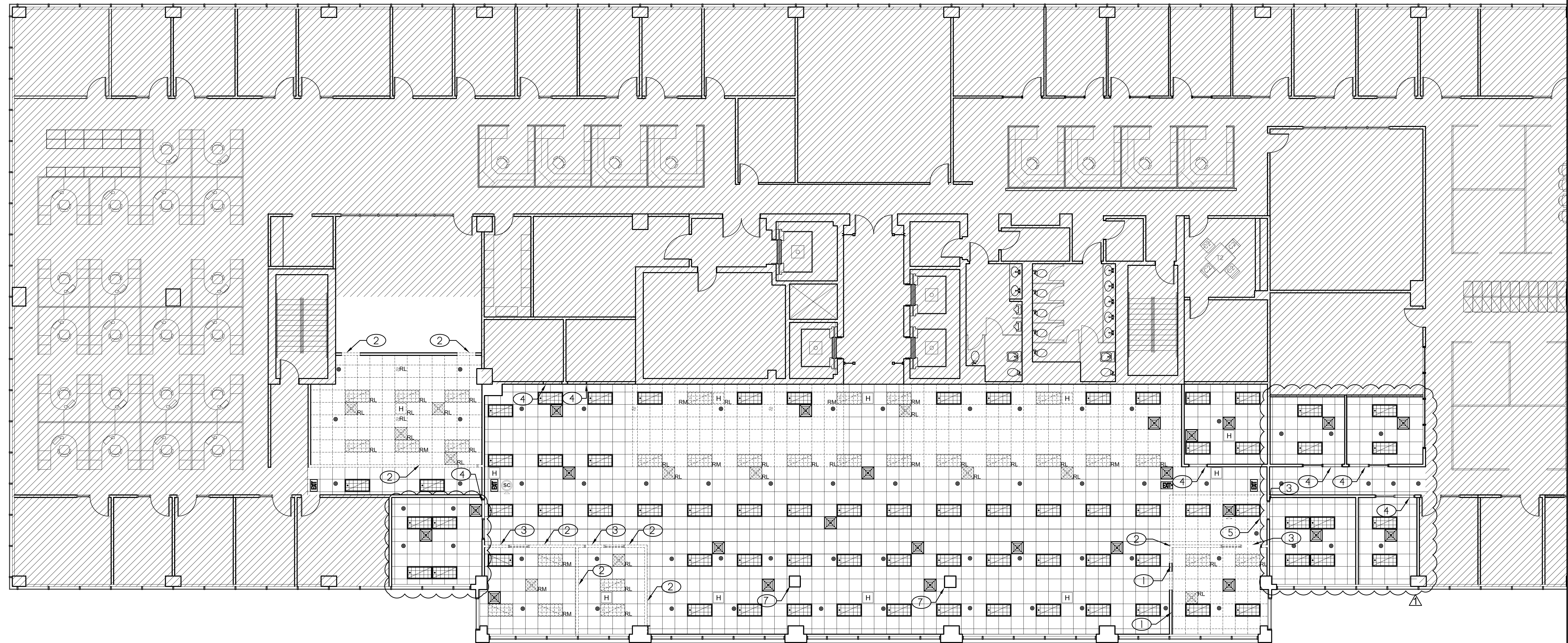
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EXISTING CONDITIONS / DEMOLITION PLAN - REFLECTED CEILING PLAN

5TH FLOOR THE HERMITAGE BUILDING

SC: 1/8" = 1'-0"

PROJECT
5TH FLOOR HERMITAGE BUILDING
1801 HERMITAGE BOULEVARD TALLAHASSEE, FLORIDA

TITLE
EXISTING CONDITIONS / DEMOLITION PLAN - RCP

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CEILING NOTES

1. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS AS IT RELATES TO LIGHT FIXTURE COUNTS AND LAYOUT.
2. THE ACOUSTICAL CEILING TILE AND GRID SYSTEM IS EXISTING AND TO REMAIN, EXCEPT AT AREAS BEING RENOVATED (SEE DEMOLITION PLAN). CONTRACTOR TO TIE INTO EXISTING GRID SYSTEM AS NECESSARY TO MAINTAIN A SEAMLESS CONTINUATION OF THE ACOUSTICAL CEILING SYSTEM. CONTRACTOR TO REPAIR / REPLACE ANY DAMAGED TILES AND PORTIONS OF GRID SYSTEM.
3. ALL MECHANICAL SYSTEMS ARE EXISTING AND SHALL REMAIN. CONTRACTOR TO REDISTRIBUTE EXISTING SUPPLY AND RETURN GRILLES AS NECESSARY TO ACCOMMODATE THE NEW FLOOR PLAN / CEILING GRID LAYOUT.
4. ALL FIRE SPRINKLER SYSTEM / SPRINKLER HEAD RELOCATION WORK SHALL BE COORDINATED / EXECUTED BY A LICENSED FIRE PROTECTION SYSTEM CONTRACTOR.
5. CENTER ALL NEW LIGHT FIXTURES, DEVICES AND SPRINKLER HEADS IN CEILING TILE.
6. INSTALL SOUND ATTENUATION BATTS ABOVE ALL NEW ACOUSTICAL CEILINGS.
7. CENTER ALL NEW LIGHT FIXTURES, AND DEVICES IN CEILING SUPPORTED FROM THE BUILDING STRUCTURE.
8. CENTER ALL EXIT SIGNS OVER EXIT DOORS U.N.O.
9. PROVIDE ONE SUPPORT HANGER AT EACH CORNER OF SUSPENSION CEILING SYSTEM AT PERIMETER OF CEILING MOUNTED LIGHT FIXTURES, CEILING LIGHT FIXTURES, DIFFUSERS AND GRILLES ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE.

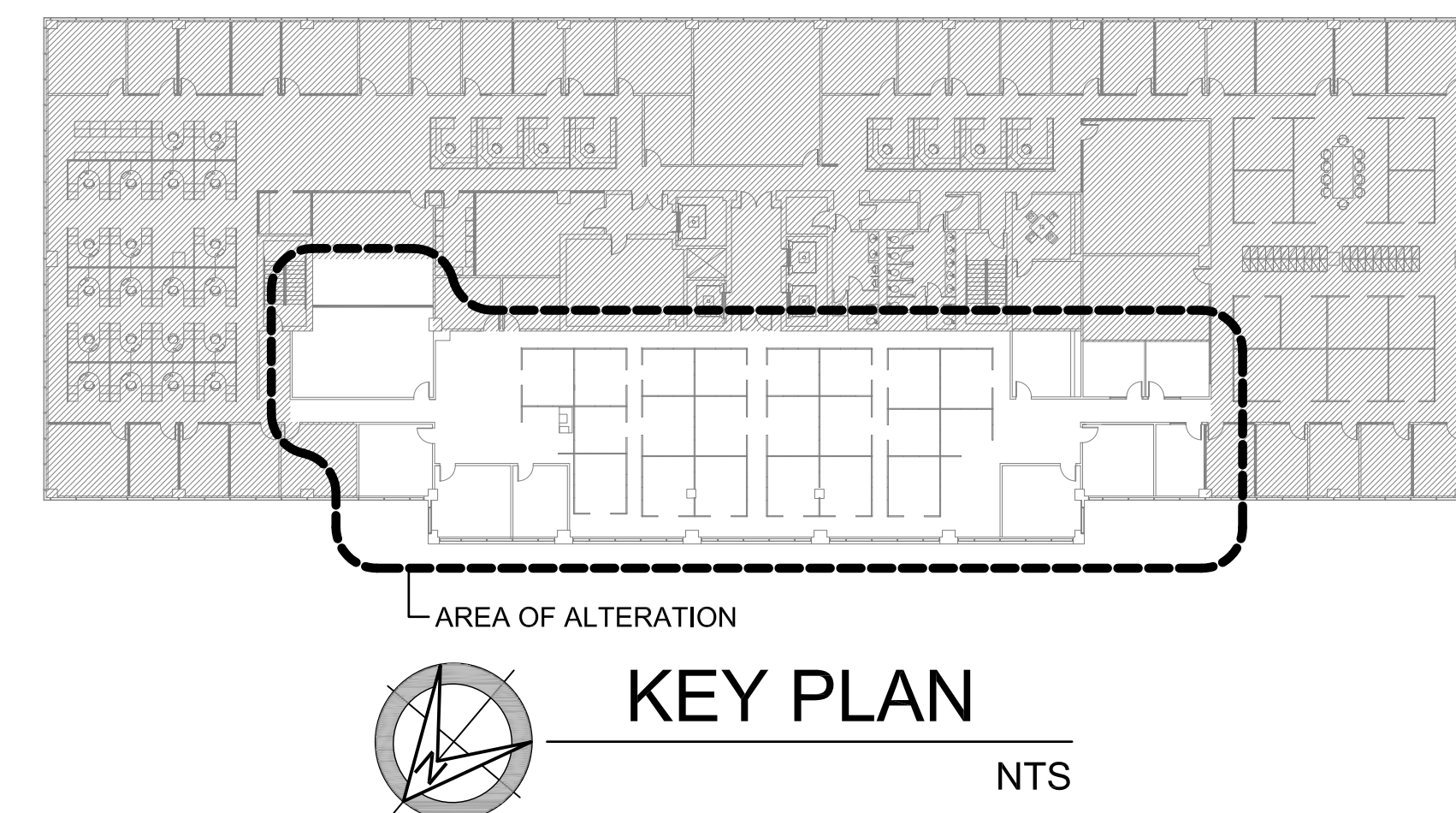
KEYNOTES

- ① INDICATES EXISTING WALL, AT THIS AREA TO REMAIN. GWB TO REMAIN, REMOVE ANY EXISTING WALL COVERING PATCH AND REPAIR WALL IF NEEDED. SEE DEMOLITION NOTES.
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- ③ EXISTING DOOR, DOOR WITH WINDOW, FRAME, & HARDWARE TO BE REMOVED.
- ④ EXISTING DOOR, DOOR WITH WINDOW, FRAME, & HARDWARE TO REMAIN
- ⑤ EXISTING ACT & GRID TO BE REMOVED
- ⑥ EXISTING LIGHT FIXTURE TO BE REMOVED OR RELOCATED, SUBSCRIPT 'RM' DENOTES FIXTURE TO BE REMOVED, SUBSCRIPT 'RL' DENOTES FIXTURE TO BE RELOCATED.
- ⑦ EXISTING COLUMN TO REMAIN

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SECURITY CAMERA
	EXISTING OR NEW LED LIGHT FIXTURE. COORDINATE WITH ELECTRICAL.
	FIRE SPRINKLER
	ILLUMINATED EXIT SIGNAGE / EMERGENCY EXIT LIGHT
	FIRE ALARM DEVICE. H = HORN, S = STROBE, B = BELL
	SUPPLY-AIR DIFFUSER, REFER TO MECHANICAL.
	WiFi
	LIGHT FIXTURES, FIRE SPRINKLERS, LIFE SAFETY EQUIPMENT AND MECHANICAL EQUIPMENT TO BE REMOVED AS INDICATED BY DASHED LINE. SUBSCRIPT 'RL' DENOTES TO BE RELOCATED, SUBSCRIPT 'RM' DENOTES TO BE REMOVED.

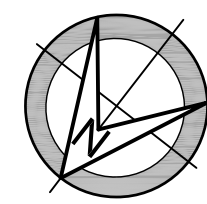
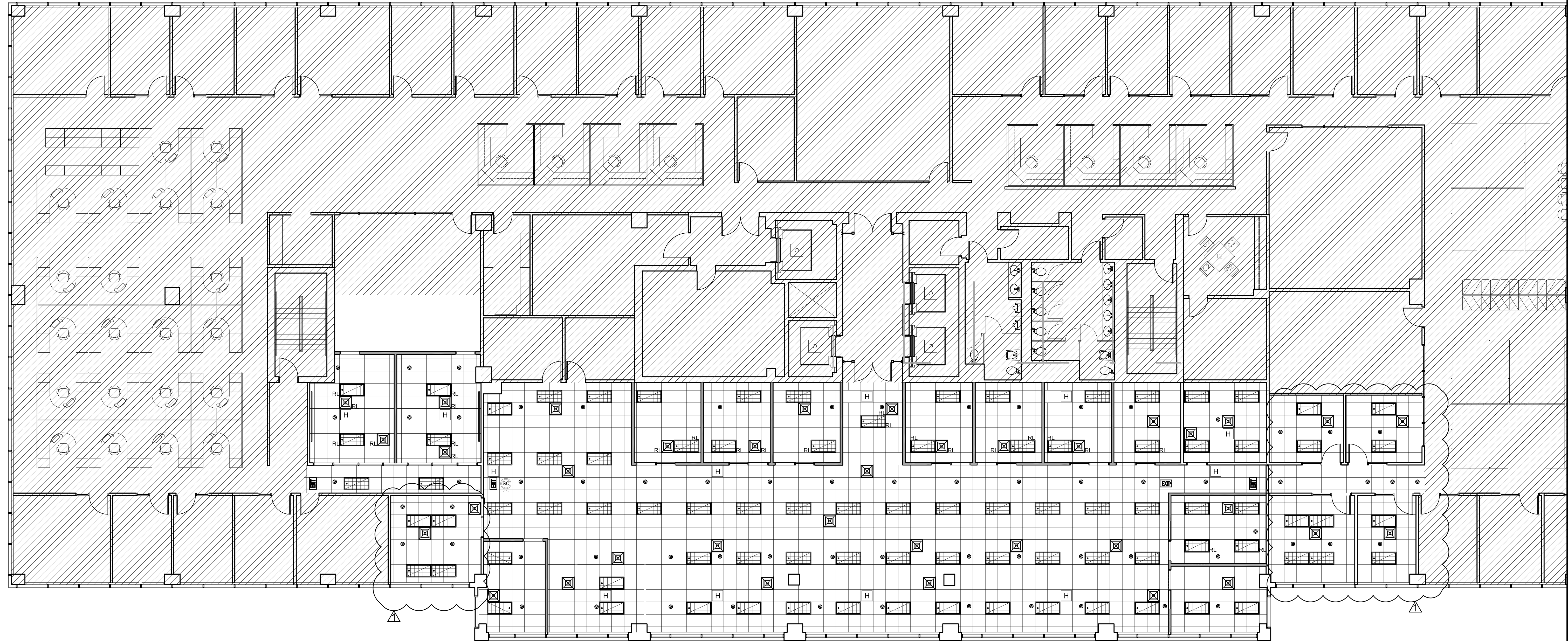
KEY PLAN



KEY PLAN

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PROPOSED FLOOR PLAN - REFLECTED CEILING PLAN

1801 HERMITAGE BOULEVARD - 5TH FLOOR

SC: 1/8" = 1'-0"

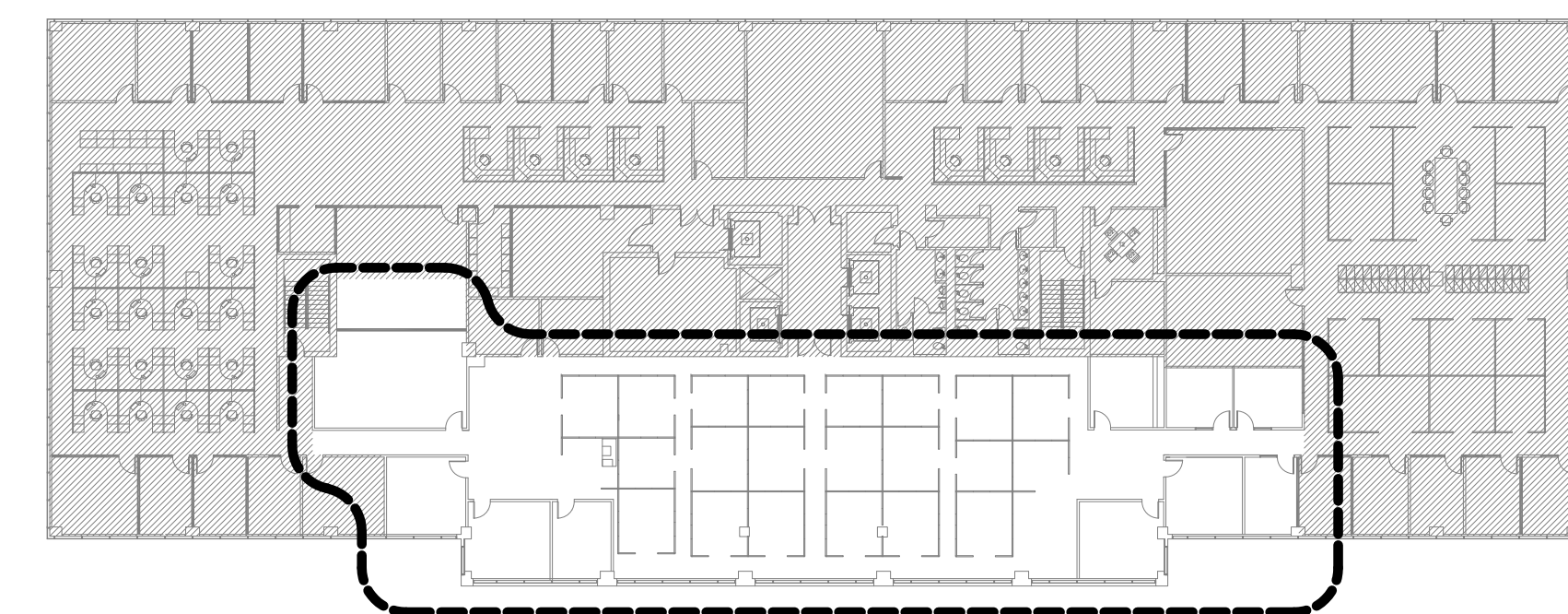
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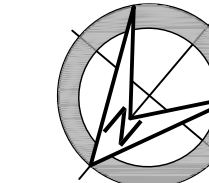
SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SECURITY CAMERA
	EXISTING, NEW OR RELOCATED LED FIXTURE COORDINATE WITH ELECTRICAL.
	FIRE SPRINKLER
	ILLUMINATED EXIT SIGNAGE / EMERGENCY EXIT LIGHT
	FIRE ALARM DEVICE, H = HORN, S = STROBE, B = BELL
	SUPPLY-AIR DIFFUSER, REFER TO MECHANICAL.
	WIFI

KEY PLAN



AREA OF ALTERATION



KEY PLAN

NTS

PROJECT
5TH FLOOR HERMITAGE BUILDING
1801 HERMITAGE BOULEVARD TALLAHASSEE, FLORIDA

TITLE
PROPOSED FLOOR PLAN - REFLECTED CEILING PLAN

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ROOM FINISH SCHEDULE

MARK	ROOM NAME	FLOORING		BASE	WALLS	CEILING	WALL & CEILING CLASS	CLG. HT.	REMARKS
		FINISH	CLASS						
5TH FLOOR									
500	OPEN OFFICE AREA	CARPET	CLASS I OR II	VINYL	G.W.B./PAINT	A.C.T.	A OR B	9'-0"	
501A	CONFERENCE ROOM	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
501B	CONFERENCE ROOM	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
502	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
503	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
504	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
505	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
506	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
507	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
509	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
510	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
511	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
512	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
513	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
514	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
515	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
516	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	
517	OFFICE	CARPET		VINYL	G.W.B./PAINT	A.C.T.		9'-0"	

FLAMESPREAD CLASS RATING DEFINITION

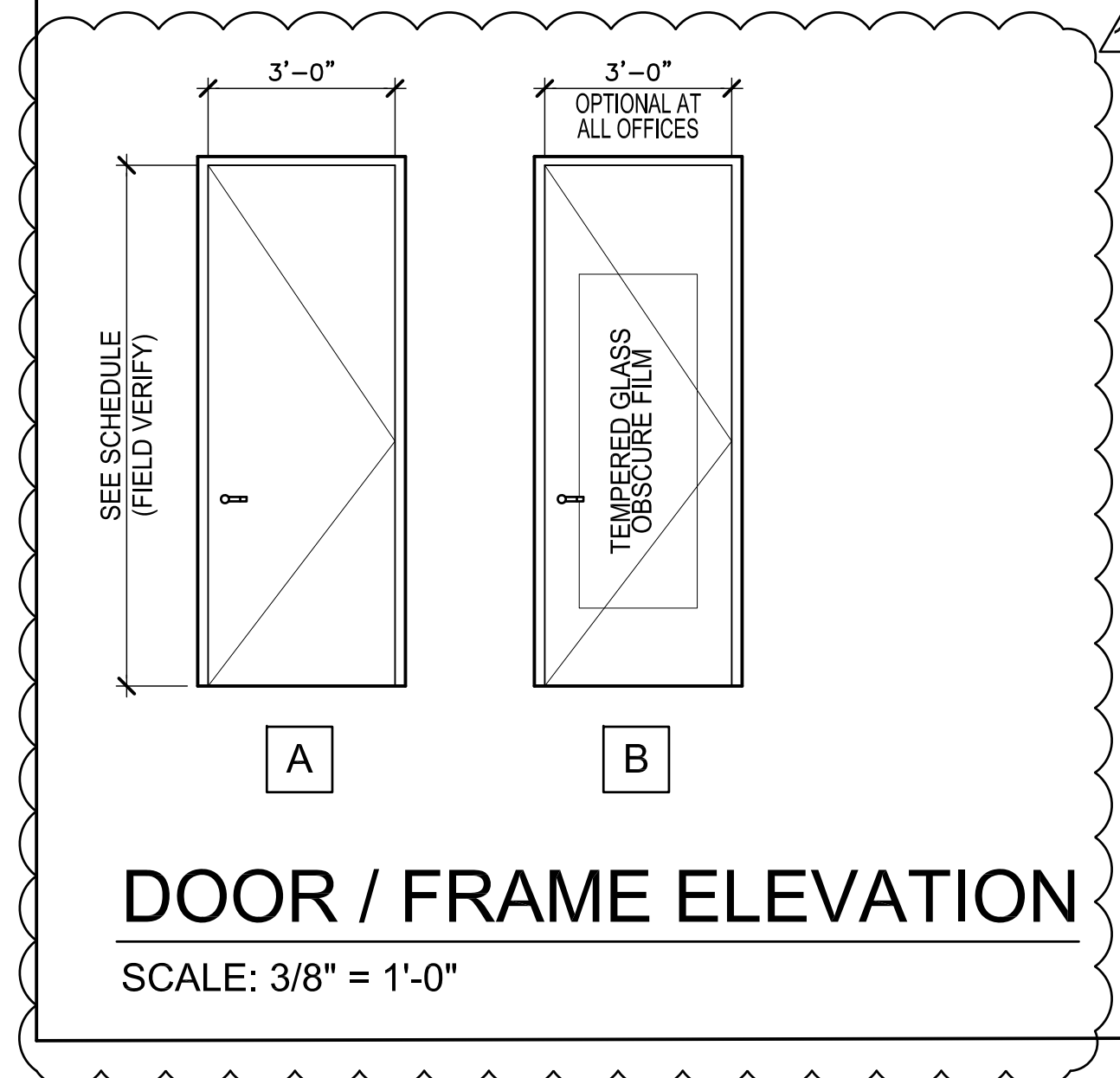
CLASS A INTERIOR WALL AND CEILING FINISH - FLAME SPREAD 0-25, (NEW) SMOKE DEVELOPED 0-450
 CLASS B INTERIOR WALL AND CEILING FINISH - FLAME SPREAD 26-75, (NEW) SMOKE DEVELOPED 0-450

FINISH NOTES.

- BUILDER TO COORDINATE ALL FINISHES, COLORS, AND STYLE SELECTIONS WITH OWNER'S AGENT.
- INSTALL A.D.A. COMPLIANT TRANSITION STRIPS AT ALL CHANGES IN FINISH FLOORING.

DOOR SCHEDULE

MARK	LOCATION	SIZE	FRAME	DOOR		REMARKS
				MATERIAL	ELEV	
5TH FLOOR						
500	OPEN OFFICE AREA	EXISTING	---	---		
501A	CONFERENCE ROOM	3'-0"x8'-6"	H.M.	S.C. WOOD	A	PASSAGE LOCKSET
501B	CONFERENCE ROOM	3'-0"x8'-6"	H.M.	S.C. WOOD	A	PASSAGE LOCKSET
501C	CONFERENCE ROOM	3'-0"x8'-6"	H.M.	S.C. WOOD	A	PASSAGE LOCKSET
501D	CONFERENCE ROOM	3'-0"x8'-6"	H.M.	S.C. WOOD	A	PASSAGE LOCKSET
502	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
503	OFFICE	3'-0"x8'-0"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
504	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
505	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
506	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
507	OFFICE	3'-0"x8'-0"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
508	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
509	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
510	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
511	OFFICE	3'-0"x8'-0"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
512	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
513	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
514	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
515	OFFICE	3'-0"x8'-0"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
516	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET
517	OFFICE	3'-0"x8'-6"	H.M.	S.C. WOOD	A	OFFICE LOCKSET



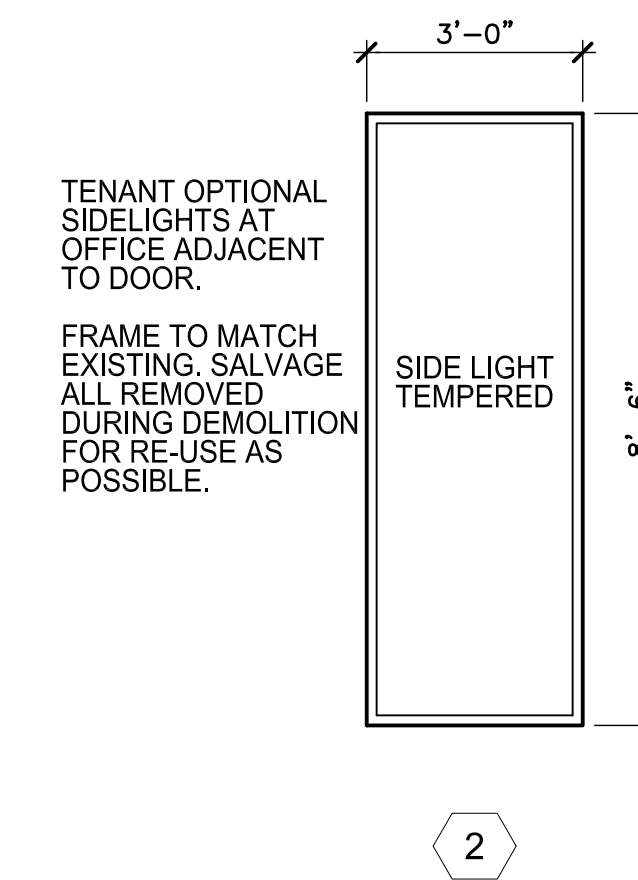
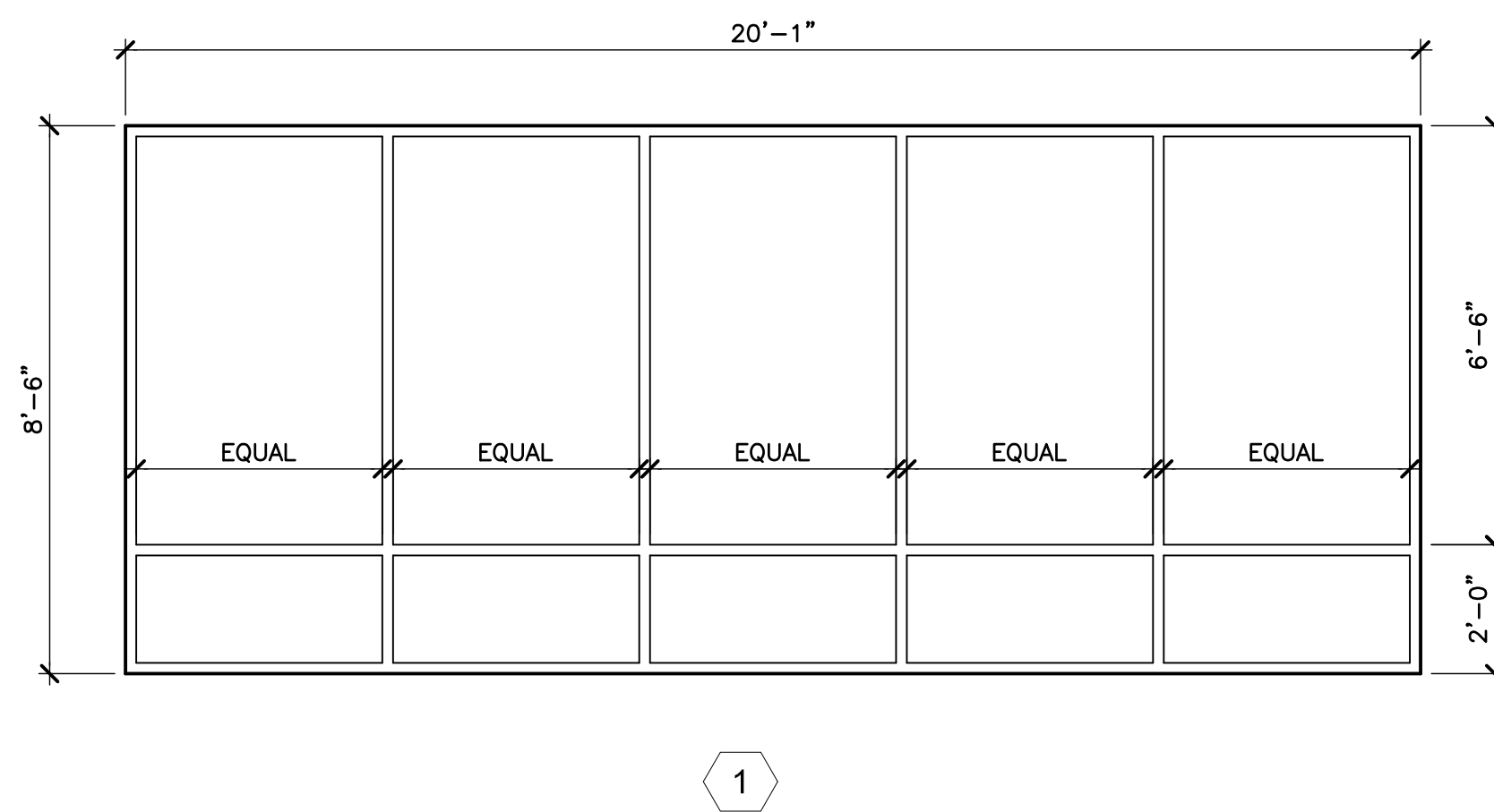
INTERIOR & EXTERIOR DOOR ACCESSIBILITY NOTE

ALL DOORS SHALL BE OPERABLE BY A SINGLE EFFORT. THE DOORS, AND CLOSERS SHALL BE ADJUSTED SUCH THAT EXTERIOR SWINGING DOORS CAN BE OPERATED BY NOT MORE THAN 8.5 POUNDS OF FORCE ON THE LATCH STILE, INTERIOR DOORS BY NOT MORE THAN 5.0 POUNDS OF FORCE.

NOTE. HANDRAILS, PULLS, LOCKSETS, AND OTHER OPERATING MECHANISMS ON ALL DOORS, AND OTHER MECHANISMS, OR U-SHAPED HANDLES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. THIS REQUIREMENT SHALL BE SATISFIED BY THE 5 POUND FEET STANDARD. ALL DOORS SHALL MEET ACCESSIBILITY REQUIREMENTS AS PER CODES STATED ON THE COVER SHEET.

DOOR SCHEDULE NOTES

- ALL DOORS SHALL HAVE LEVER TYPE HARDWARE PER CODE.
- FINISH, TYPE, AND COLOR OF ALL DOORS, WINDOWS, AND FRAMES TO BE COORDINATED WITH OWNER.
- COORDINATE ALL DOORS AND FINISHES WITH OWNER PRIOR TO BID.
- DOOR SUPPLIER SHALL SUBMIT DOOR HARDWARE SCHEDULE TO THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- INSTALL PANIC, EXIT, CODE COMPLIANT, AND FIRE HARDWARE AS REQUIRED BY CODE.
- ALL HARDWARE SHALL MATCH EXISTING CONDITIONS
- ALL DOORS SHALL HAVE SILENCERS AND FLOOR MOUNTED, DOOR STOPS.



TENANT OPTIONAL SIDELIGHTS AT OFFICE ADJACENT TO DOOR.

FRAME TO MATCH EXISTING SALVAGE ALL REMOVED DURING DEMOLITION FOR RE-USE AS POSSIBLE.

GLAZING ELEVATIONS

SCALE: 3/8" = 1'-0"

PROJECT
 5TH FLOOR HERMITAGE BUILDING
 1801 HERMITAGE BOULEVARD TALLAHASSEE, FLORIDA

TITLE
 ROOM FINISH SCHEDULE / DOOR SCHEDULE

CONN + ARCHITECTS
 1960-C Bulford Boulevard | Tallahassee, Florida 32308 | 850-978-8784
 www.CONNarchitects.com | Lic. No. AA-C001662

DATE
DEC. 13, 2024

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BSZ

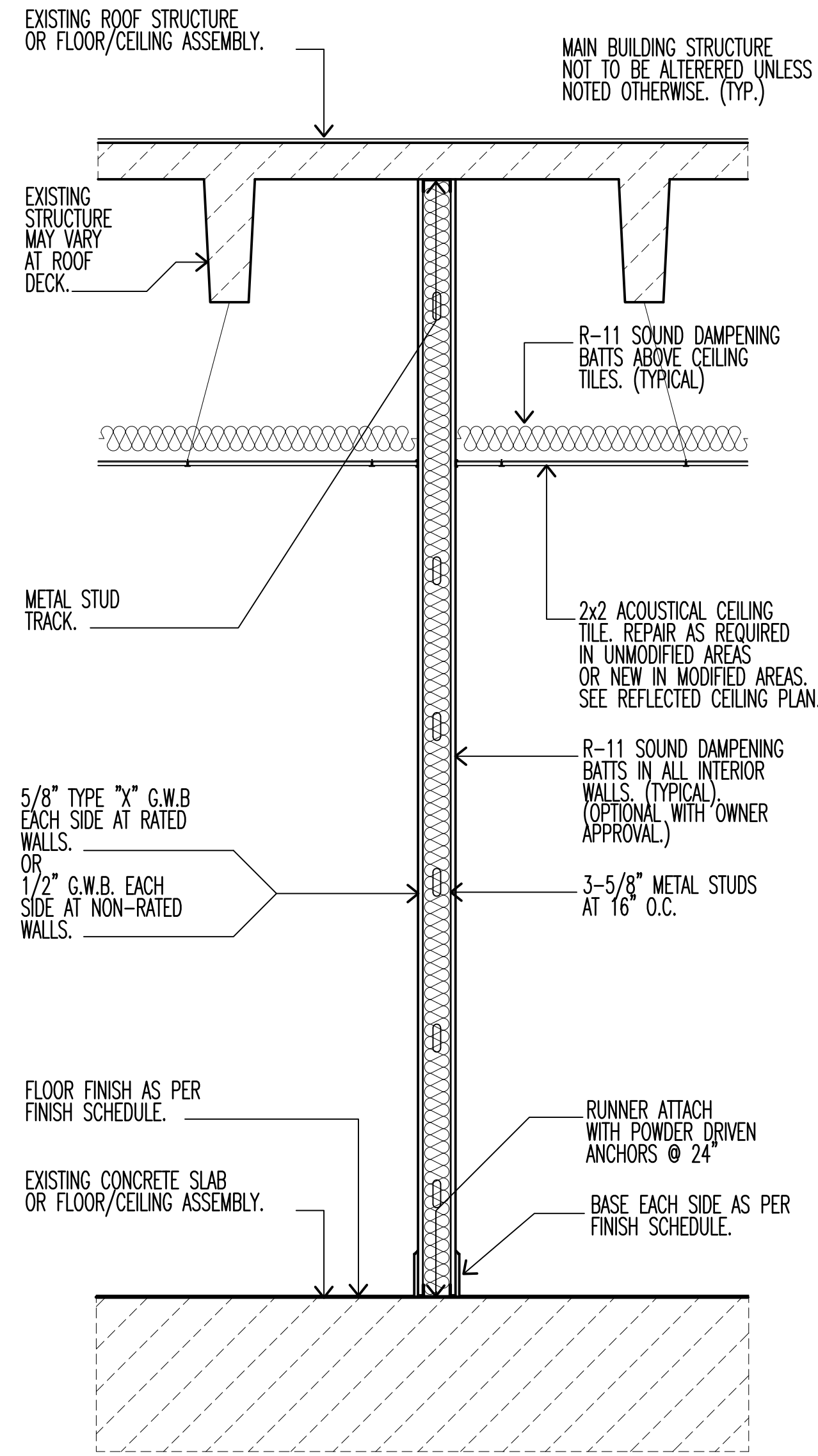
REVISED
 FEB. 10, 2025

JOB NO.
23-183

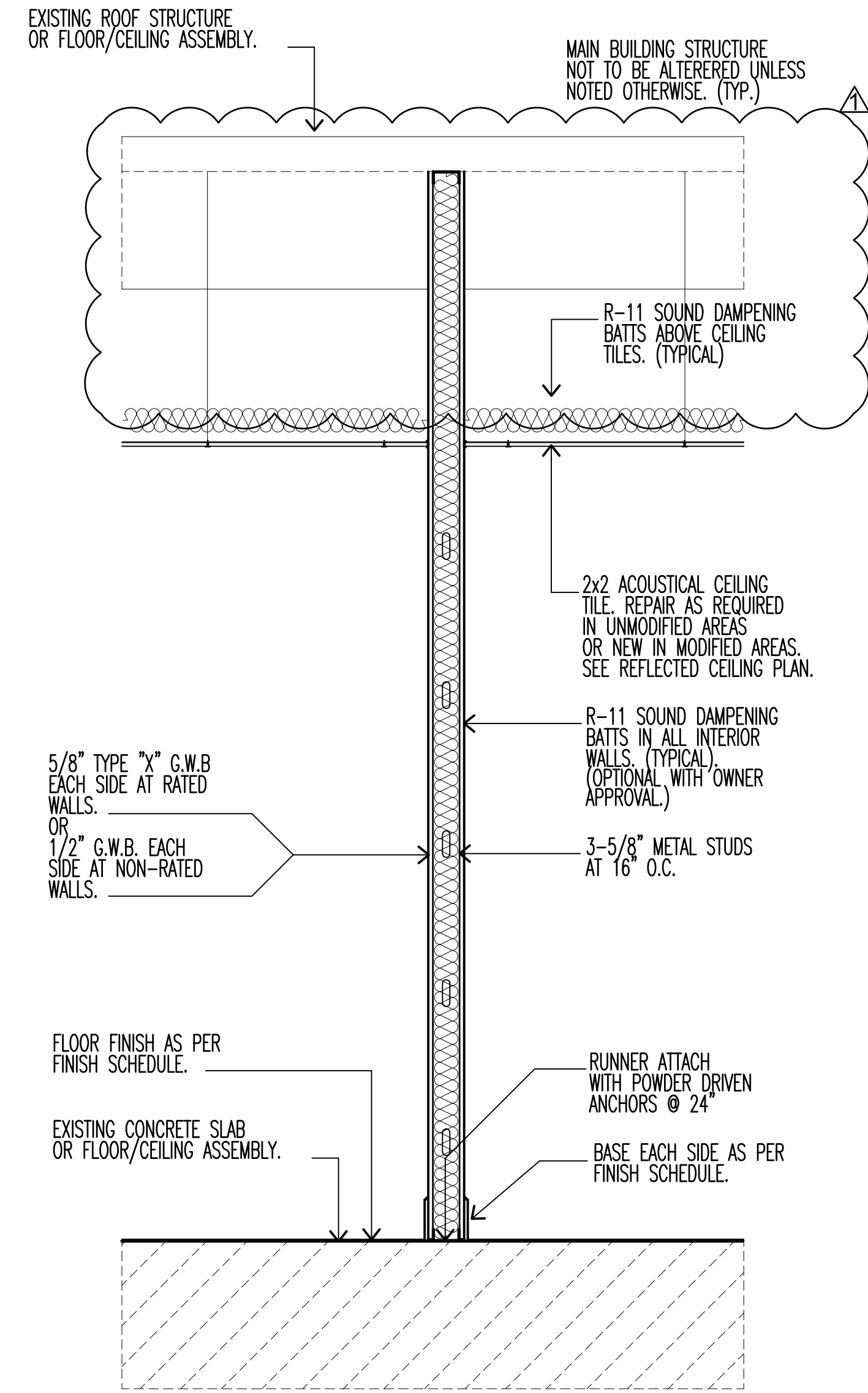
DATE
SHEET NUMBER
A3.0

GENERAL WALL NOTES:

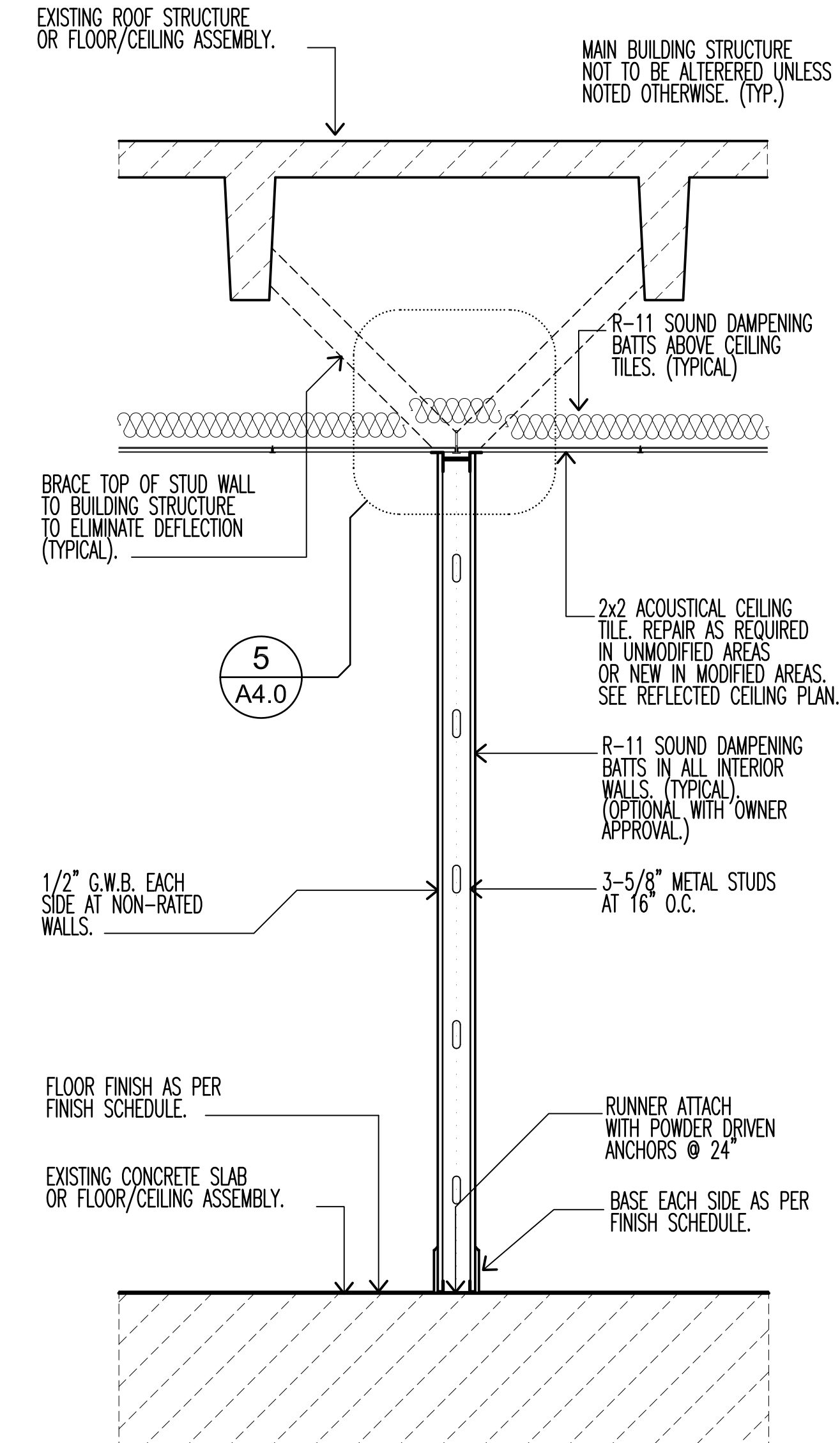
FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN A MANNER ACCEPTABLE. SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES. SUGGESTED WORDING FOR FIRE AND SMOKE BARRIERS: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS." AS PER FBC-B SECTION 712.6.



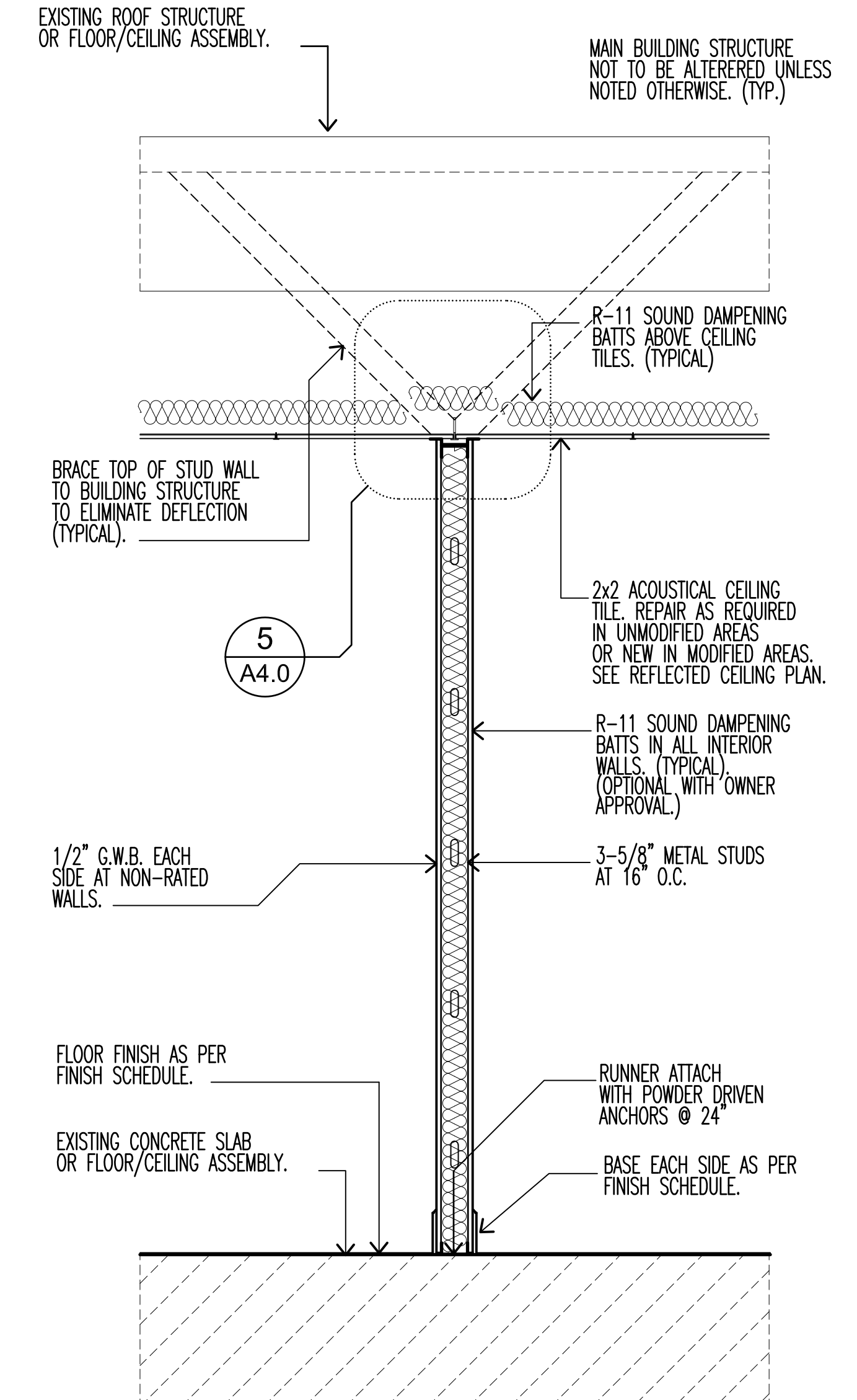
1 WALL SECTION
A4.0 3/4" = 1'-0"



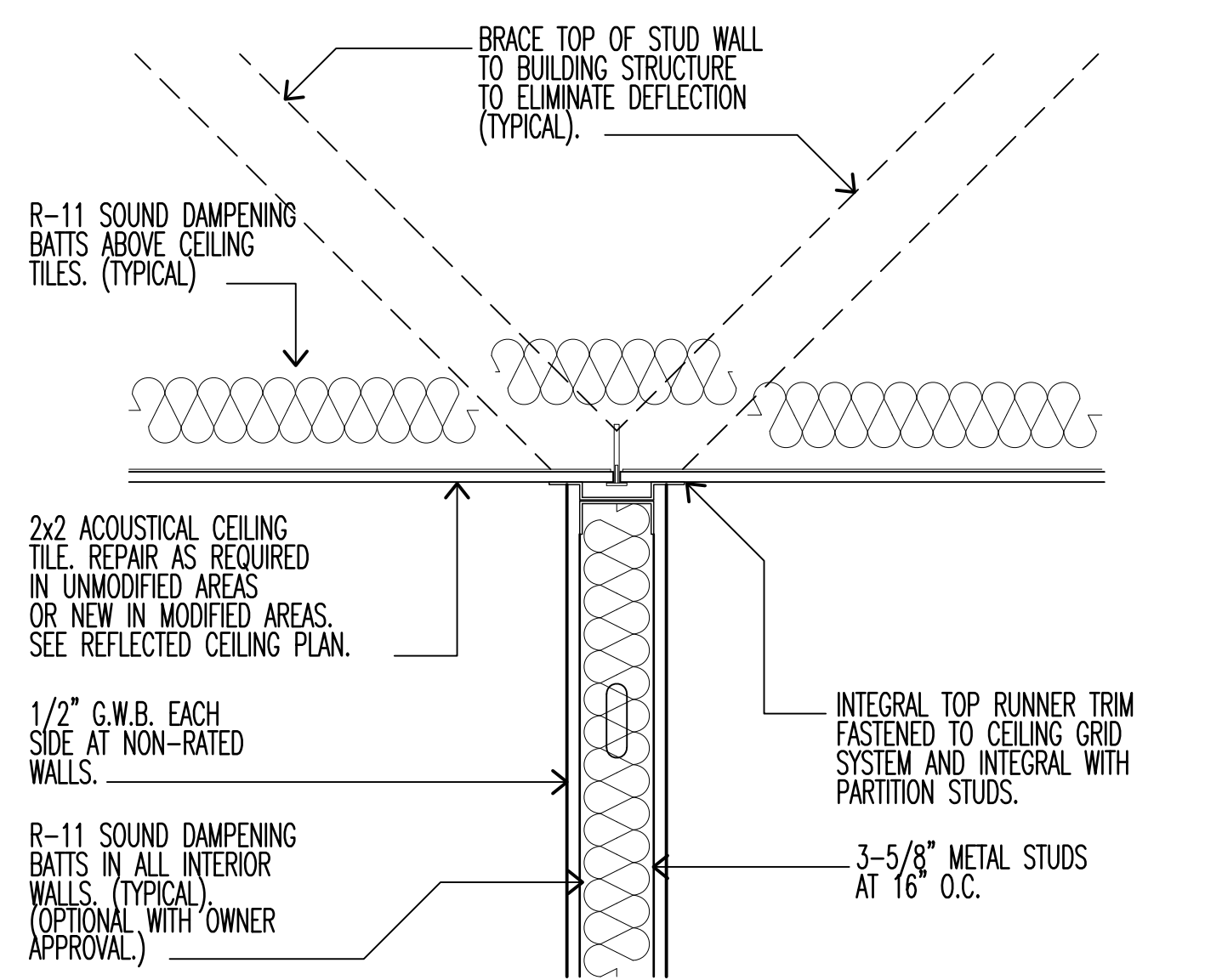
2 WALL SECTION
A4.0 3/4" = 1'-0"



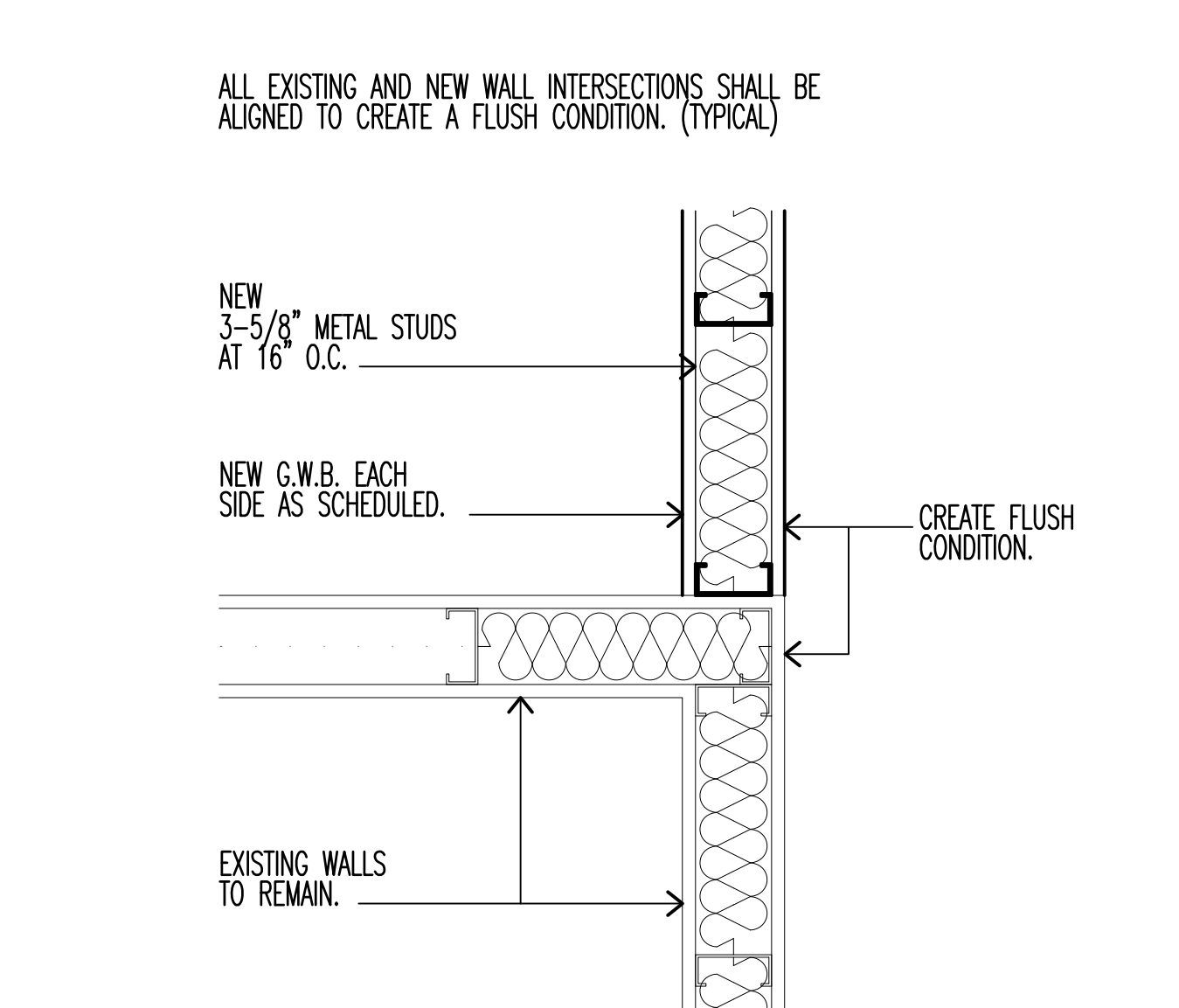
3 WALL SECTION
A4.0 3/4" = 1'-0"



4 WALL SECTION
A4.0 3/4" = 1'-0"



5 DETAIL
A4.0 1-1/2" = 1'-0"



7 DETAIL
A4.0 1-1/2" = 1'-0"

5TH FLOOR HERITAGE BUILDING
1801 HERITAGE BOULEVARD TALLAHASSEE, FLORIDA

PROJECT

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WALL SECTIONS / DETAILS

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