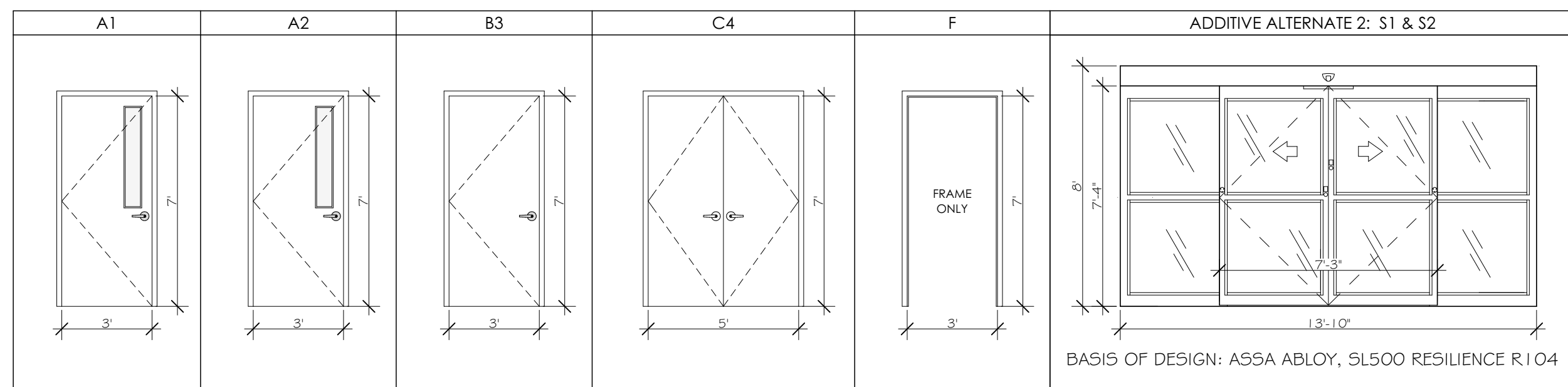


ROOM ID	ROOM NAME	AREA (SF)	PERIMETER	FLOORING	BASE	WALL FINISH				CEILING		REMARKS
						NORTH	SOUTH	EAST	WEST	HEIGHT	FINISH	
AHU B1	MECHANICAL	275	67'-1 1/2"	CC	---	---	---	---	---	10'-8"	EXP	
B15	HALLWAY	895	244'-5"	EX	EX	EX	P2	EX	EX	7'-6"	ACT	INSTALL CEILING AS HIGH AS POSSIBLE. 7'-6" MIN.
B133	BREAK ROOM	295	73'-1 1/4"	LVT	VB	P1	P1	P1	P1	8'-3"		COORDINATE CEILING EQUIPMENT WITH ENGINEER'S DRAWINGS AND INSTALL EQUIPMENT AS TIGHT AS POSSIBLE TO STRUCTURE ABOVE FOR MAXIMUM CEILING HEIGHT. ***MINIMUM CEILING HEIGHT TO BE 8'-0"***
B135	WAITING	128	47'-1 7/8"	LVT						8'-3"		
B135A	HALL	205	110'-2 1/8"	CPT						8'-3"		
B135B	OFFICE 1	113	44'-1 7/8"	CPT						8'-3"		
B135C	OFFICE 3	125	45'-2 1/4"	CPT						8'-3"		
B135D	OFFICE 4	127	45'-6 1/4"	CPT						8'-3"		
B135E	OFFICE 2	61	31'-6 1/2"	CPT						8'-3"		
B135F	OFFICE 5	127	45'-6 1/4"	CPT						8'-3"		
B135G	COPY	78	36'-3 7/8"	CPT						8'-3"		
B135H	OFFICE 6	133	46'-1 1/2"	CPT						8'-3"		
B135I	STORAGE	87	37'-4 3/8"	CPT						8'-3"		
B135J	CONFERENCE	199	59'-10 7/8"	CPT						8'-3"		
B135K	OFFICE 7	140	46'-3 5/8"	CPT						8'-3"		
B139	WAITING	70	33'-8"	LVT						8'-3"		
B139A	OPEN OFFICE	304	96'-1/8"	CPT						8'-3"		
B139B	STORAGE	28	22'-3/4"	CPT						8'-3"		
B139C	OFFICE	108	41'-8 1/4"	CPT						8'-3"		
B141	WAITING	119	44'-1/4"	LVT						8'-3"		
B141A	CONFERENCE	117	43'-6 3/4"	CPT						8'-3"		
B141B	OPEN OFFICE	511	126'-11 3/8"	CPT						8'-3"		
B141C	OFFICE	118	43'-7 1/2"	CPT						8'-3"		
B141D	STORAGE	71	34'-2"	CPT	VB	P1	P1	P1	P1	8'-3"	ACT	

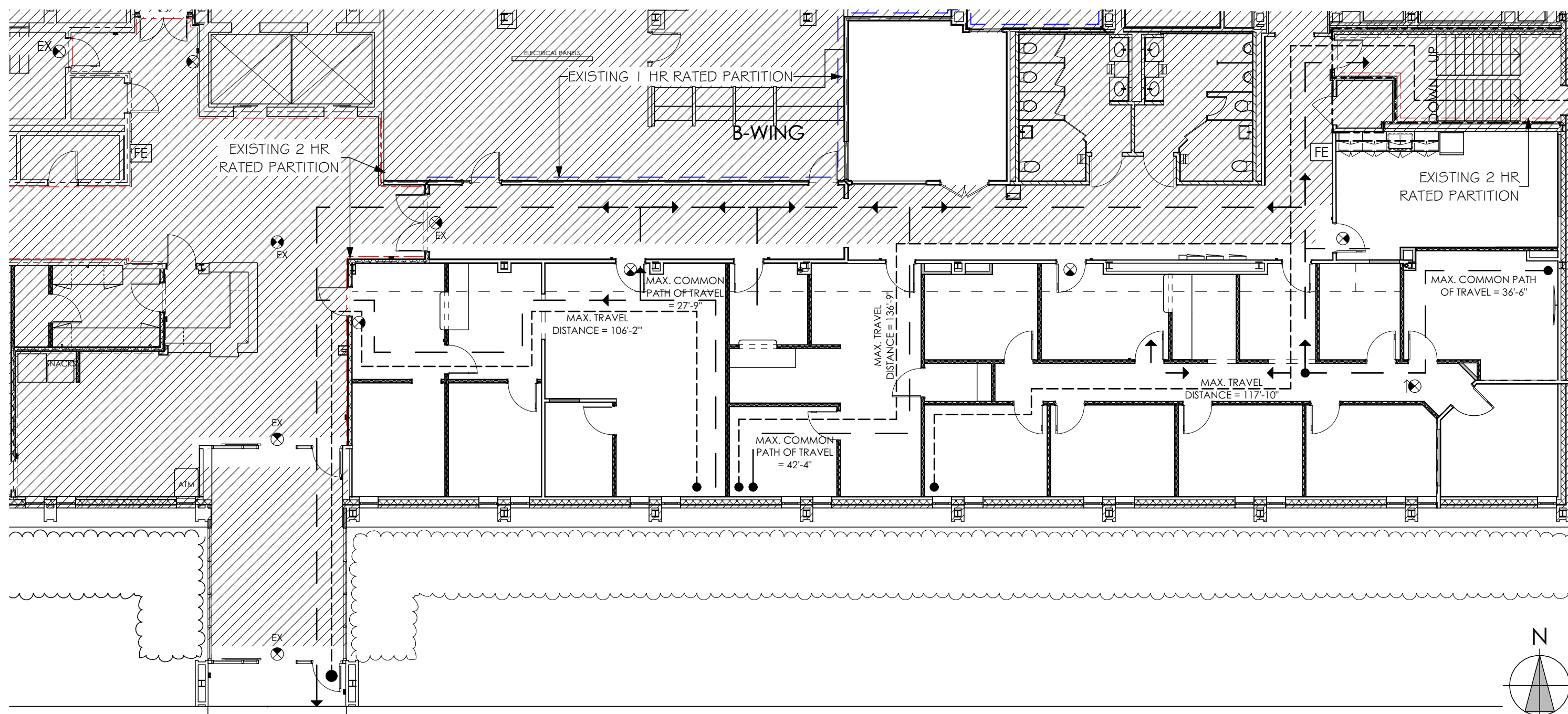
1 FINISH SCHEDULE
A000

ID	QUAN.	UNIT SIZE		DOOR		FRAME		HARDWARE	GLAZING	REMARKS
		WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH			
A1	8	3'	7'	WOOD	STAIN	HM	P3	1	G1	MATCH EXISTING VIEW LITES; FIELD VERIFY. PAINT B15 SIDE OF FRAMES P4.
A2	10	3'	7'	WOOD	STAIN	HM	P3	2	G1	MATCH EXISTING VIEW LITES; FIELD VERIFY.
B3	2	3'	7'	WOOD	STAIN	HM	P3	3	---	
C4	1	5'	7'	HM	P4	HM	P4	4	---	
F	1	3'	7'	---	---	HM	P3	---	---	
S1	1	±13'-10	±8'	HM	DARK BRONZE	HM	DARK BRONZE	BY MANUF.	G2	ADDITIVE ALTERNATE 2, LEVEL III BALLISTIC
S2	1	±13'-10	±8'	HM	DARK BRONZE	HM	DARK BRONZE	BY MANUF.	G3	ADDITIVE ALTERNATE 2

2 DOOR SCHEDULE
A000



3 DOOR ELEVATION
A000



4 LIFE SAFETY PLAN
A000

FINISH SCHEDULE NOTES

FLOORING
*SEE A102 FOR PATTERN INSTALL
CPT - CARPET TILE - MANNINGTON, QUADRANT, ALIGN, RADIAN, 24"x24", QUARTER TURN
LVT - LUXURY VINYL TILE - TARKETT, EVENT WOOD, PEHP HERITAGE PLANK, SMOKED OAK 3350, 6"x36"
CC - COATED CONCRETE - PPG, AQUAPON 35, 95-3 LIGHT GRAY
TRANSITIONS, CPT/LVT & LVT/ACT: MANNINGTON, FUSION TRANSITION STRIP, MOCHA 597

CEILING
ACT - ACOUSTICAL CEILING TILE - ARMSTRONG, CIRRUS, REGULAR, WHITE, SIZE 24"x24"
EXP - EXPOSED STRUCTURE, SCRAPE, PRIME AND PAINT TWO COATS WHITE DRY FALL PAINT TO JOIST AND DECK

WALL BASE
VB - VINYL BASE - MANNINGTON/BURKE, 6" COVE, BLACK BROWN 523

DOORS
WD - ROTARY BIRCH NATURAL, MASONITE STAIN NUTMEG
HM - HOLLOW METAL - PAINT, MATCH WALL BASE, GLOSS

PAINTS
P1 - WALLS - PPG, 515-2 NAVAJO WHITE
P2 - WALLS - MATCH EXISTING
P3 - DOOR FRAMES - MATCH WALL BASE, SEMI-GLOSS
P4 - DOORS AND FRAMES, HALL B15 ONLY - MATCH EXISTING ADJACENT RESTROOM DOOR FRAMES

MILLWORK, ADDITIVE ALTERNATE 1
QUARTZ - COUNTERS - WILSONART, Q4031 DESERT WIND
WOOD - EXPOSED EXTERIOR UPPER AND LOWER CABINET SURFACES, INCLUDING SIDES BOTTOM OF UPPEERS, AND FACE FRAMES, BIRCH, STAINED AND FINISHED TO MATCH DOORS, INTERIOR OF ALL MILLWORK TO BE PLYWOOD WITH UV COATING
PULLS - SALVAGED BAR PULLS

HARDWARE SCHEDULE

- DOOR A - HALL TO SUITES AND BREAKROOM, WAITING TO OFFICES
HINGES, LEVERSET, OFFICE LOCKSET, ELECTRIC STRIKE, CARD READER, CLOSER, KICK PLATE, WALL STOP, SILENCERS, KICK DOWN STOP
 - DOOR A - OFFICES
HINGES, LEVERSET, OFFICE LOCKSET, KICK PLATE, WALL STOP, SILENCERS
 - DOOR B - STORAGE
HINGES, LEVERSET, STORAGE LOCKSET, KICK DOWN STOP, SILENCERS
 - DOOR C - MECHANICAL
HINGES, LEVERSET, STOREROOM LOCK, BOLTS, CLOSER, KICK PLATE, KICK DOWN STOP, SEAL
 - EX DOOR B140 TO B141
CLOSER
- NOTE: FIELD VERIFY ALL DOOR AND WINDOW DIMENSIONS PRIOR TO ORDERING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.

GLAZING NOTES

- G1 - VIEW LIGHT, MATCH SIZE AND LOCATION OF EXISTING DOORS, CLEAR, TEMPERED
ADDITIVE ALTERNATE 2:
G2 - LEVEL III BALLASTIC
G3 - 1" OA SOLARBANGLOW E - OPTIGRAY

BUILDING DATA

AREA OF WORK
NKB 1ST FLOOR B WING SOUTH
SPRINKLERED
OCCUPANCY: BUSINESS (B)
OVERALL SQ. FT. OF PROJECT: 3,468 SF
CONSTRUCTION TYPE: TYPE II-B
ALTERATIONS TO EXISTING BUILDING: LEVEL II

KIRKMAN BUILDING
4 STORIES
PARTIALLY SPRINKLERED
OCCUPANCY: B - BUSINESS
SQUARE FEET OF BUILDING: 386,992 S.F.

OCCUPANT LOAD
BUSINESS, DEALER SERVICES 3,468 GROSS SF / 150 GROSS SF = 23 TOTAL OCCUPANTS

EGRESS REQUIREMENTS:

	REQ.	ACTUAL
MAXIMUM COMMON PATH OF TRAVEL	100' MAX.	42'-4"
MAXIMUM TRAVEL DISTANCE	300' MAX.	136'-9"
NUMBER OF EXITS	2 MIN.	2
EXIT CORRIDOR WIDTH	44" MIN.	90" MIN.
STAIRWAY WIDTH	44" MIN.	52"
DEAD END CORRIDOR	50" MAX.	17"

DEFERRED SUBMITTALS
SPRINKLER DRAWINGS AND SPRINKLER PERMIT APPLICATIONS WILL BE A DEFERRED SUBMITTAL. THE FF SHEETS SUBMITTED WITH THESE DRAWINGS ARE FOR THE CONTRACTOR'S REFERENCE ONLY.

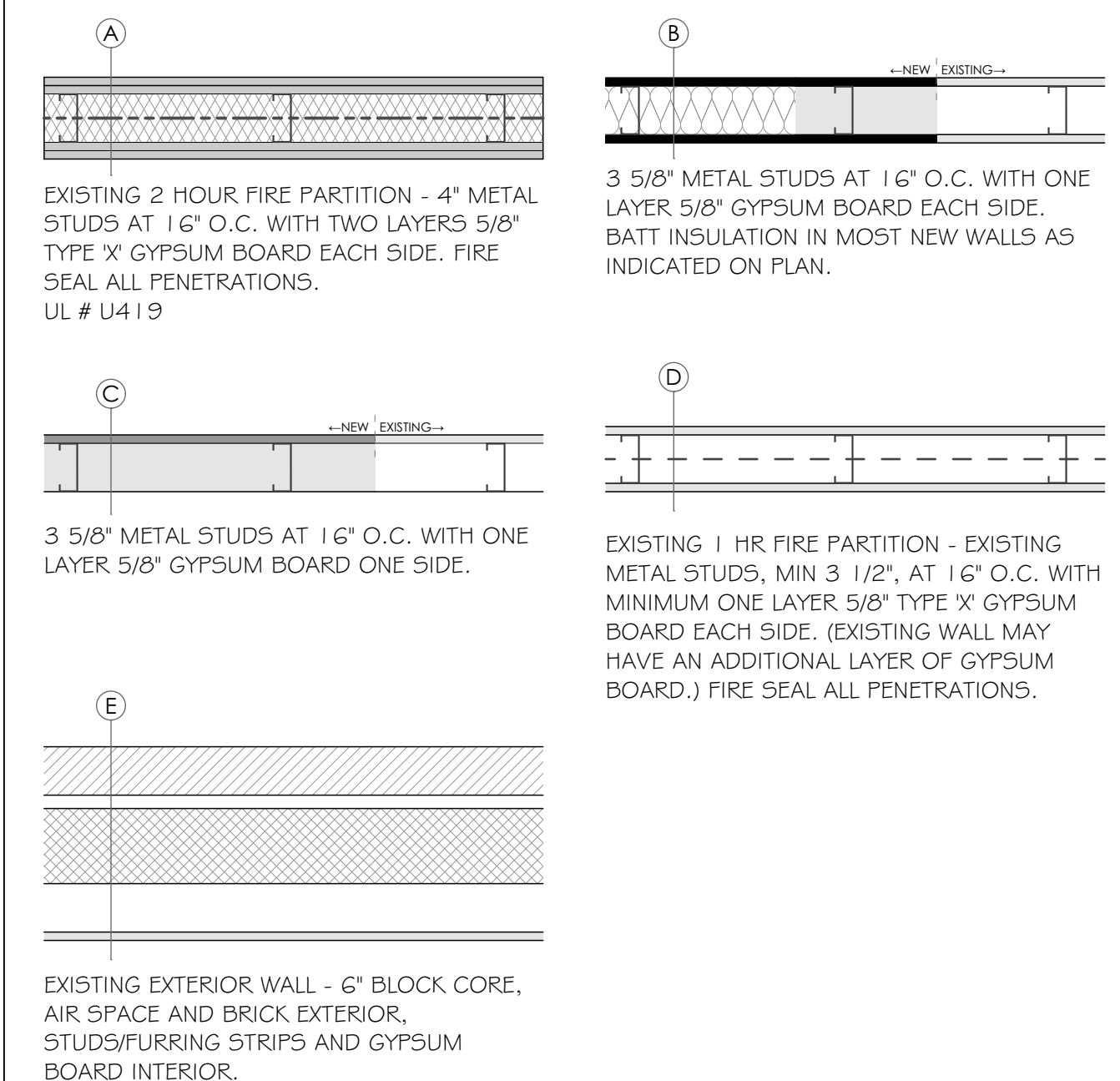
LIFE SAFETY PLAN KEY AND NOTES

- EGRESS PATH OF TRAVEL
- TRAVEL DISTANCE
- EXIT SIGN
- FIRE EXTINGUISHER
- EX. INDICATES EXISTING
- 1 HR FIRE RATED PARTITION
- 2 HR FIRE RATED PARTITION

GENERAL NOTES

- THE EXISTING PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ALL CONDITIONS. IF THE CONTRACTOR IS UNABLE TO INTERPRET THE CONTRACT DOCUMENTS, HE IS RESPONSIBLE FOR REQUESTING CLARIFICATION IN WRITING TO THE ARCHITECT. IF THE CONTRACTOR PROCEEDS WITH ANY WORK BEFORE OBTAINING CLARIFICATION, HE SHALL BE HELD RESPONSIBLE FOR ALL DEFICIENCIES ASSOCIATED THERE WITHIN.
- BEFORE SUBMITTING FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CLEAR EXIT WAYS. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADE AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
- CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, AS WELL AS POSTING APPLICABLE SAFETY REGULATIONS. CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS AND BARRICADES FOR PEDESTRIANS AT CONSTRUCTION, VEHICLE ACCESS AND EGRESS LOCATIONS.
- NORMAL OPERATIONS OF THE REMAINING FACILITY SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THE FACILITY.
- ALL PROPOSED INTERRUPTIONS TO OPERATIONS AND EQUIPMENT SHALL BE REVIEWED WITH AND APPROVED BY THE OWNER PRIOR TO STARTING SUCH WORK UNLESS OTHERWISE APPROVED IN WRITING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A COMPLETELY DETAILED CONSTRUCTION SCHEDULE AND PLAN PRIOR TO PRE-CONSTRUCTION CONFERENCE.
- CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS. COMPARTMENT TRAILERS OR SIMILAR PROTECTIVE STORAGE FACILITIES MAY BE UTILIZED ON SITE TO SECURE ALL EQUIPMENT AND ITEMS REMOVED DURING PROJECT WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF ALL EQUIPMENT AND ITEMS REMOVED.
- CONTRACTOR MAY UTILIZE AVAILABLE ELECTRICAL POWER AND WATER UTILITIES AT PROJECT JOB SITE.
- DUE TO THE NATURE OF THE FACILITY, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SPECIAL SECURITY MEASURES AT THE JOBSITE. ALL TOOLS, MATERIALS, EQUIPMENT, ETC. SHALL BE SECURED. SECURITY PROCEDURES WILL BE REVIEWED AT THE PRE-CONSTRUCTION CONFERENCE.
- ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND GUIDELINES.
- INSTALL WORK IN ACCORDANCE WITH THE CODES LISTED ON THE COVER SHEET. WHERE CONFLICTS OCCUR BETWEEN CODES AND BETWEEN THE CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.
- CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS TO THE ARCHITECT AT COMPLETION OF THE CONSTRUCTION. CHANGES SHALL BE INDICATED CLEARLY BY MECHANICAL DRAFTING METHODS.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISES AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RETURNING DAMAGED AREAS (MATERIALS, FINISHES, LANDSCAPE, ETC.) TO THEIR ORIGINAL CONDITION. ALL DISTURBED AREAS OF SOIL TO BE SODDED. ALL PLANTING REPLACEMENT TO BE GUARANTEED FOR ONE YEAR.
- CONTRACTOR SHALL ERECT ALL SAFEGUARDS TO PROTECT AREAS ADJACENT TO BUILDING SITES. INSTALL SILT FENCING AS REQUIRED TO CONTAIN CONSTRUCTION RUNOFF. REMOVE DEBRIS FROM JOB SITE DAILY AND ADHERE TO ENVIRONMENTAL REGULATIONS.
- SEE DEMOLITION/ABATEMENT SPECIFICATION FOR LEAD/ASBESTOS ABATEMENT.

WALL TYPES



CONSULTANTS

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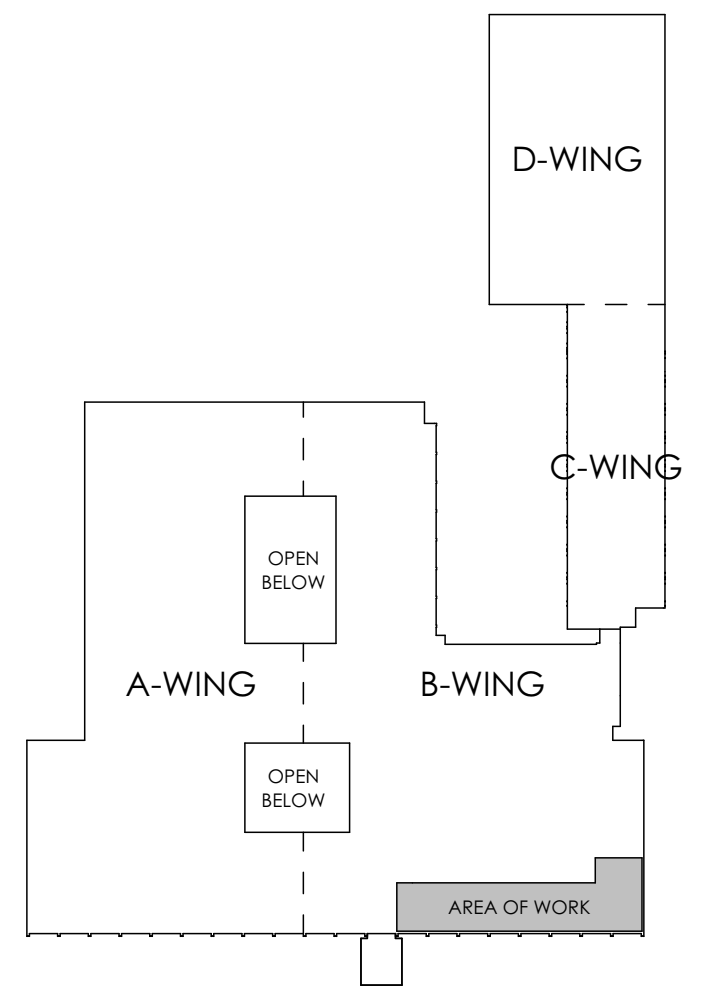
NKB 1ST FLOOR B-WING SOUTH
MAJOR INTERIOR RENOVATION
FOR THE FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
TALLAHASSEE, FLORIDA

CONSTRUCTION DOCUMENTS

PROJ. NO. 174024
DATE 03/13/2025
DRAWN TR
CHECKED IH
APPROVED JS
REVISION
REVISION DATE

A000

KEY PLAN



LEGEND

- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- ROOM 000 ROOM NAME # NUMBER
- ELEVATION/SECTION # SHEET #
- ELECTRICAL PANEL
- WORK LEGEND NOTE
- CARD READER; SEE DOOR HARDWARE NOTES AND SCHEDULE AND ELECTRICAL
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- FRMG FRAMING
- FF FINISHED FACE

DEMOLITION NOTES

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- FIELD VERIFY ALL ITEMS TO BE REMOVED AND COORDINATE WITH RENOVATION DRAWINGS. SEE SPECIFICATIONS FOR ABATEMENT/DEMO PLANS. ENSURE ALL EQUIPMENT TO REMAIN IS STRAPPED AND SECURED TO THE STRUCTURE. TAKE CARE TO PROTECT ADJACENT SURFACES TO REMAIN.
- D1** REMOVE EXISTING LIGHTS AND DIFFUSERS, CEILINGS, HEADERS AND PORTION OF SOFFITS THROUGHOUT AREA OF WORK. NORTH SOFFIT TO REMAIN. COORDINATE WITH ENGINEER'S DRAWINGS.
 - D2** REMOVE EXISTING WALL BASE AND FLOORING DOWN TO SOUND SUBSTRATE IN AREA OF WORK. PREP SUBSTRATE TO RECEIVE NEW MATERIALS.
 - D3** REMOVE EXISTING WALLS, INCLUDING IN WALL EQUIPMENT, GRILLS, WINDOWS, AND DOORS AS INDICATED ON PLAN IN AREA OF WORK. SEE LEGEND. SALVAGE ALL REMOVED DOORS AND TURN OVER TO OWNER.
 - D4** REMOVE PORTION OF WALL TO ACCOMMODATE NEW DOOR. COORDINATE LOCATION WITH RENOVATION PLAN.
 - D5** REMOVE EXISTING SERVICE COUNTERS, MILLWORK AND HALF WALLS. CONFIRM WITH OWNER ALL PARTS TO BE SALVAGED. ALL CABINET PULLS TO BE SALVAGED FOR REUSE, EXCESS TO BE RETURNED TO OWNER, 3/2 MINIMUM ARE AVAILABLE.
 - D6** REMOVE EXISTING COLUMNS AND HEADER.
 - D7** REMOVE EXISTING FIRE EXTINGUISHER AND MOUNT AND TURN OVER TO OWNER.
 - D8** SEE ABATEMENT SPEC FOR DEMOLITION OF MECHANICAL ROOM.
 - D9** ADD. ALT. 1: REMOVE EXISTING BREAK ROOM MILLWORK AND PLUMBING FIXTURES. SEE PLUMBING.
 - D10** ADD. ALT. 2: REMOVE EXISTING SLIDING DOOR STOREFRONT SYSTEM. SEE ELECTRICAL SHEETS.

DEMOLITION NOTES

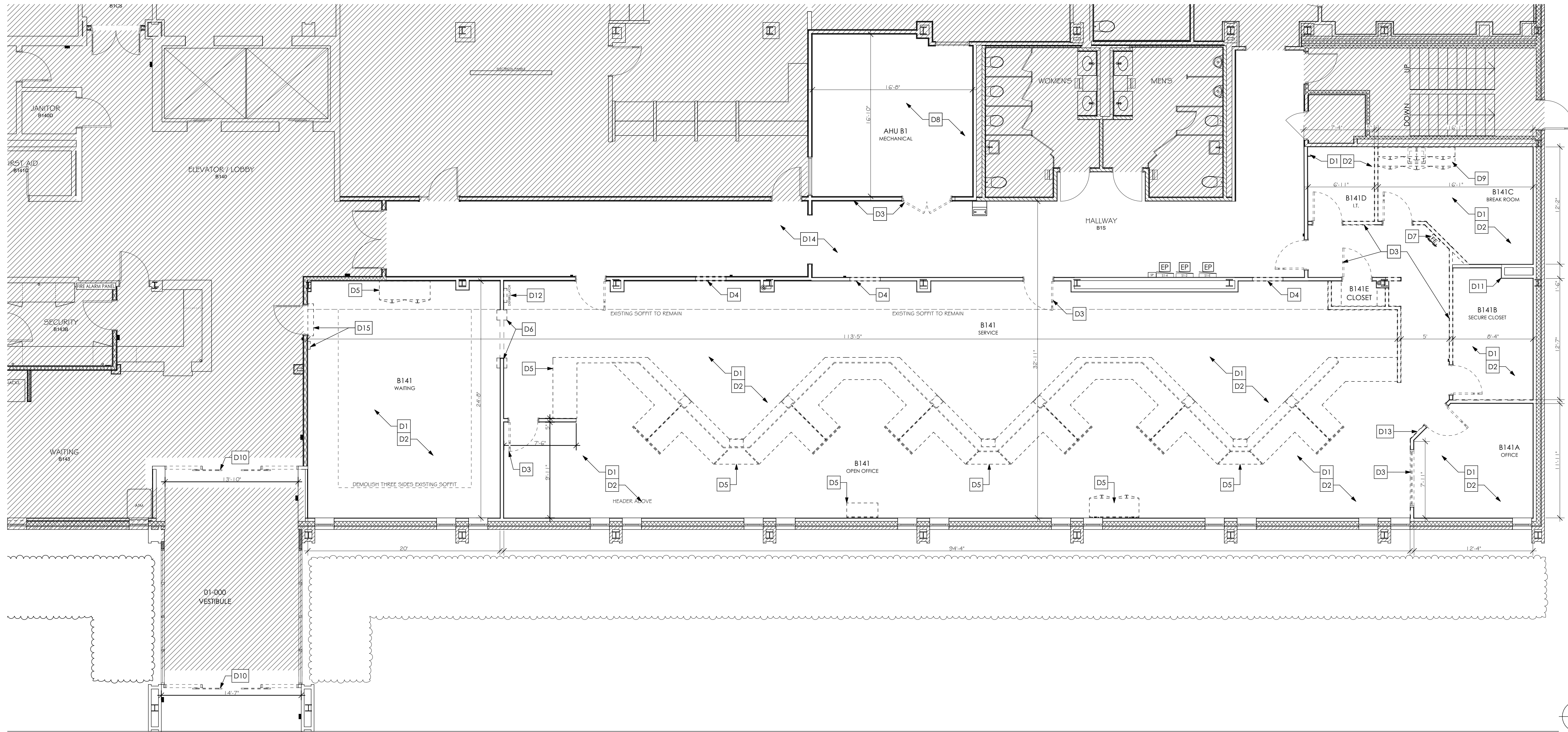
- D11** VERIFY REASON FOR CHASE. REMOVE IF CHASE IS NOT FOR CONCEALMENT.
- D12** REMOVE EXISTING DEFIBRILLATOR.
- D13** REMOVE EXISTING GYP FROM OUTSIDE FACE OF WALL SURROUNDING OFFICE TO ALLOW FOR INSTALLATION OF NEW ELECTRICAL AND BATT INSULATION.
- D14** REMOVE EXISTING CEILING AND LIGHTS IN HALLWAY B15.
- D15** REMOVE EXISTING AUTO OPERATOR. TURN OVER TO OWNER, AND PATCH AND REPAIR WALLS; MATCH EXISTING ON BUILDING LOBBY SIDE, REPAINT WALL CORNER TO CORNER.

CONSULTANTS

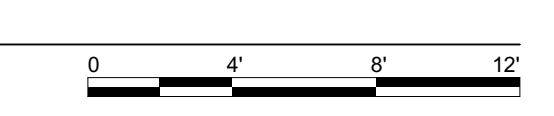
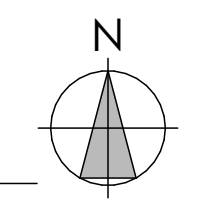
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1 DEMOLITION PLAN
 A100 SCALE: 3/16" = 1'-0"



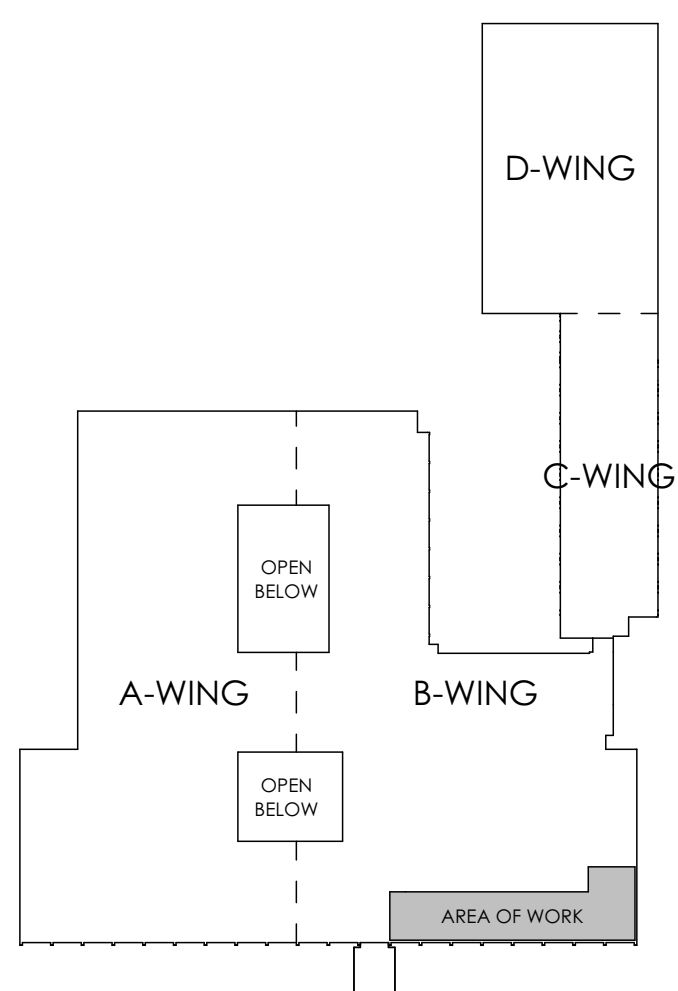
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KEY PLAN



LEGEND

- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- ROOM 000 ROOM NAME # NUMBER
- ELEVATION/SECTION # SHEET #
- ELECTRICAL PANEL
- WORK LEGEND NOTE
- CARD READER; SEE DOOR HARDWARE NOTES AND SCHEDULE AND ELECTRICAL
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- FRMG FRAMING
- FF FINISHED FACE

RENOVATION NOTES

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FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

PATCH AND REPAIR DAMAGE TO EXISTING WALLS REMAINING, AND PRIME AND PAINT TWO COATS ALL WALLS AS LISTED ON FINISH SCHEDULE.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED PARTITIONS, FLOORS AND CEILINGS.

ROOM SIGNAGE BY CONTRACTOR. INSTALL SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

INSTALL NEW PARTITIONS. SEE WALL TYPES. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C. EXTEND ALL NEW WALLS 6" ABOVE CEILING UNLESS OTHERWISE NOTED.

- R1** INFILL/PATCH SECTION OF WALL WHERE DOOR/WINDOW/MILLWORK WAS REMOVED TO MATCH EXISTING CONSTRUCTION AND FINISH.
- R2** PROVIDE ADJUSTABLE WHITE MELAMINE SHELVING, 5 SHELVES VERTICALLY SPACED ON KNAPE & VOGT 80/180 SERIES REGULAR-DUTY BRACKET, WHITE FINISH.
- R3** ADD. ALT. 1: INSTALL NEW BREAK ROOM MILLWORK AND PLUMBING FIXTURES; SEE ELEVATIONS AND PLUMBING SHEETS. APPLIANCES INSTALLED BY CONTRACTOR, SUPPLIED BY OWNER.
- R4** NEW HEADER / SOFFIT. SEE DETAIL.

RENOVATION NOTES (CONT'D)

- R5** ADD. ALT. 2: INSTALL NEW DOOR STOREFRONT SYSTEM. SEE ELECTRICAL SHEETS.
- R6** INSTALL OWNER PROVIDED TV/EQUIPMENT. PROVIDE BLOCKING WITHIN WALLS, BETWEEN 48" AND 84" A.F.F. COORDINATE MOUNTING HEIGHT WITH OWNER; 60" TO CENTERLINE A.F.F. RECOMMENDED. COORDINATE WITH ELECTRICAL.
- R7** EXTEND EXISTING PARTITION TO DECK, INCLUDING FRAMING, NEW BATT INSULATION AND GYP, BOTH SIDES.
- R8** CONTRACTOR TO INCLUDE AN ALLOWANCE IN THE GMP FOR PROVIDING PORTABLE/ADA-COMPLIANT/CONDITIONED RESTROOM FACILITIES WHILE THE AIR HANDLER IS BEING SWAPPED OUT.
- R9** REPAINT EXISTING DOOR B140 TO B141. REMOVE STICKERS, CLEAN GLASS AND ADD A STANDARD DOOR CLOSER.
- R10** PROVIDED AND INSTALL NEW ACCESS PANEL WHERE EXISTING DRYWALL IS CUT BACK AT PLUMBING. MIN 24"x24".
- R11** CONTRACTOR TO PROVIDE REFRIGERATOR AND MICROWAVE. BASIS OF DESIGN: WHIRLPOOL MODELS WRS3215DHZ (REF.) AND WMC50522HS (MW)

CONSULTANTS

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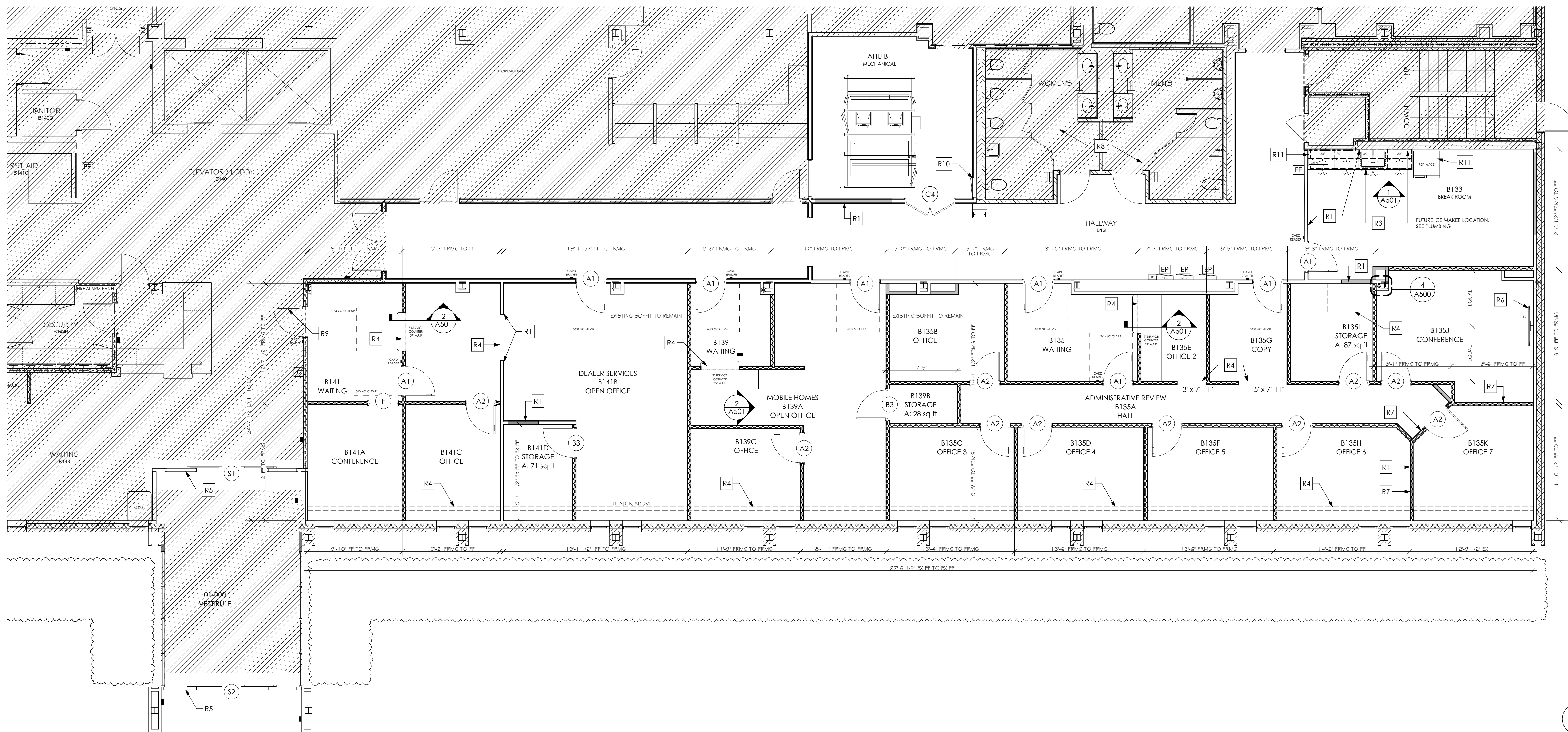
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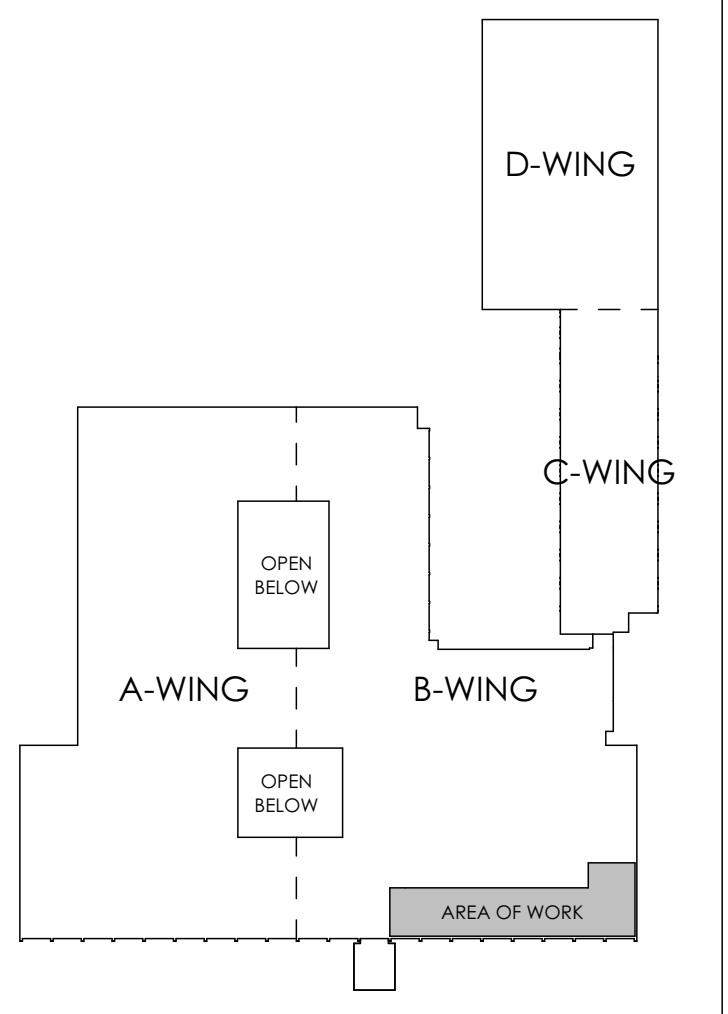
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A101



1 RENOVATION PLAN
 A101 SCALE: 3/16" = 1'-0"

KEY PLAN



LEGEND

- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- ROOM 000 ROOM NAME # NUMBER
- ELEVATION/SECTION # SHEET #
- ELECTRICAL PANEL
- WORK LEGEND NOTE
- CARD READER; SEE DOOR HARDWARE NOTES AND SCHEDULE AND ELECTRICAL
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- FRMG FRAMING
- FF FINISHED FACE

RENOVATION NOTES

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FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

PATCH AND REPAIR DAMAGE TO EXISTING WALLS, AND PRIME AND PAINT TWO COATS ALL WALLS AS LISTED ON FINISH SCHEDULE.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED PARTITIONS, FLOORS AND CEILINGS.

ROOM SIGNAGE BY CONTRACTOR. INSTALL SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

INSTALL NEW PARTITIONS. SEE WALL TYPES. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C. EXTEND ALL NEW WALLS 6" ABOVE CEILING UNLESS OTHERWISE NOTED.

INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ ELEVATIONS. PREP FLOOR FOR INSTALLATION OF NEW MATERIALS. FLOORS TO BE LEVEL/EVEN; USE FLOOR LEVELER FOR ALL LVT FLOORS. COORDINATE WITH FINISH SCHEDULE.

- R1** INFILL/PATCH SECTION OF WALL WHERE DOOR/WINDOW/MILLWORK WAS REMOVED TO MATCH EXISTING CONSTRUCTION AND FINISH.
- R2** PROVIDE ADJUSTABLE WHITE MELAMINE SHELVING, 5 SHELVES VERTICALLY SPACED ON KNAPE & VOGT 80/180 SERIES REGULAR-DUTY BRACKET, WHITE FINISH.
- R3** ADD. ALT. 1: INSTALL NEW BREAK ROOM MILLWORK AND PLUMBING FIXTURES; SEE ELEVATIONS AND PLUMBING SHEETS. APPLIANCES INSTALLED BY CONTRACTOR, SUPPLIED BY OWNER.
- R4** NEW HEADER / SOFFIT. SEE DETAIL.

RENOVATION NOTES (CONT'D)

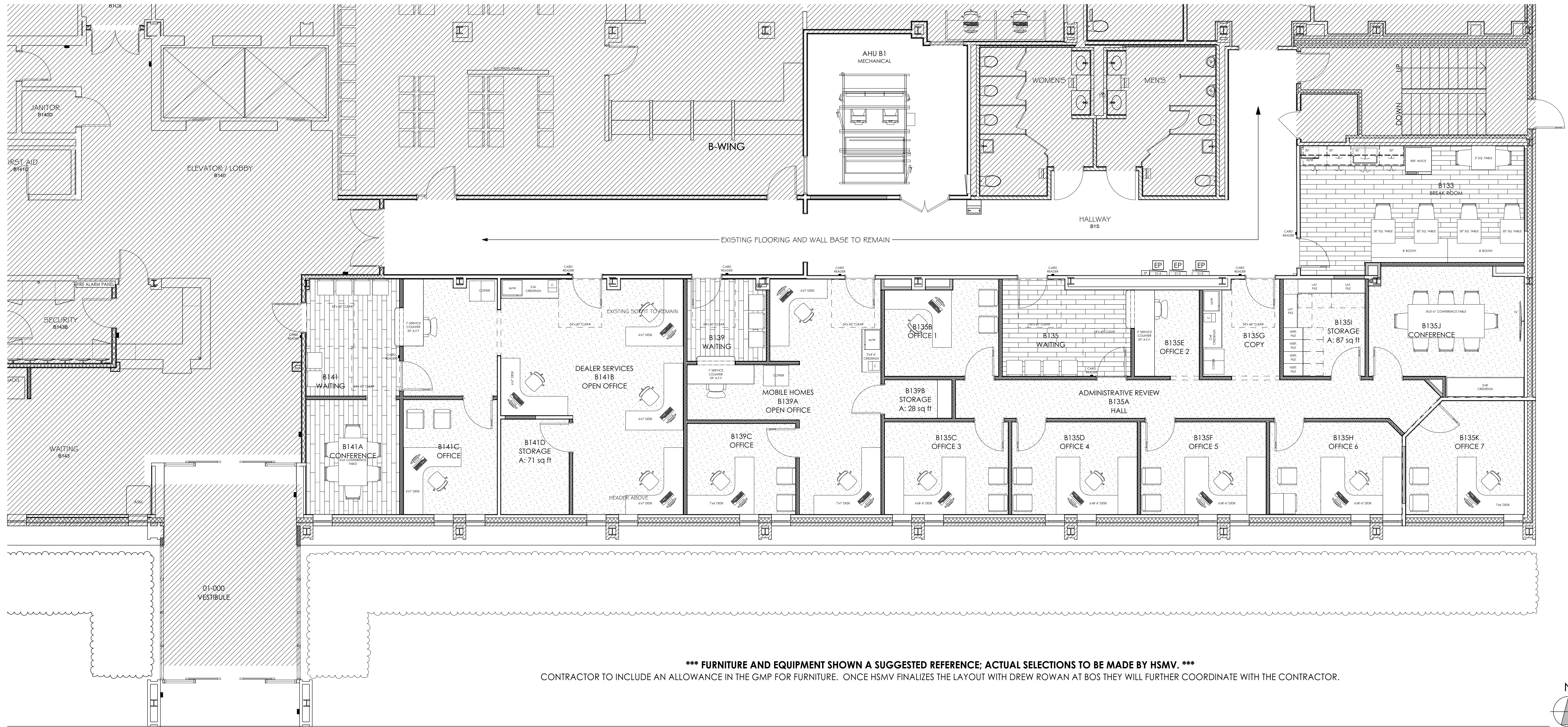
- R5** ADD. ALT. 2: INSTALL NEW DOOR STOREFRONT SYSTEM. SEE ELECTRICAL SHEETS.
- R6** INSTALL OWNER PROVIDED TV/EQUIPMENT. PROVIDE BLOCKING WITHIN WALLS, BETWEEN 48" AND 84" A.F.F. COORDINATE MOUNTING HEIGHT WITH OWNER; 60" TO CENTERLINE A.F.F. RECOMMENDED. COORDINATE WITH ELECTRICAL.
- R7** EXTEND EXISTING PARTITION TO DECK, INCLUDING FRAMING, NEW BATT INSULATION AND GYP, BOTH SIDES.
- R8** CONTRACTOR TO INCLUDE AN ALLOWANCE IN THE GMP FOR PROVIDING PORTABLE/ADA-COMPLIANT/CONDITIONED RESTROOM FACILITIES WHILE THE AIR HANDLER IS BEING SWAPPED OUT.
- R9** REPAINT EXISTING DOOR B140 TO B141. REMOVE STICKERS AND CLEAN GLASS.

CONSULTANTS

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*** FURNITURE AND EQUIPMENT SHOWN A SUGGESTED REFERENCE; ACTUAL SELECTIONS TO BE MADE BY HSMV. ***
 CONTRACTOR TO INCLUDE AN ALLOWANCE IN THE GMP FOR FURNITURE. ONCE HSMV FINALIZES THE LAYOUT WITH DREW ROWAN AT BOS THEY WILL FURTHER COORDINATE WITH THE CONTRACTOR.

1 FURNITURE, FIXTURES, EQUIPMENT AND FLOORING PLAN
 A102 SCALE: 3/16" = 1'-0"

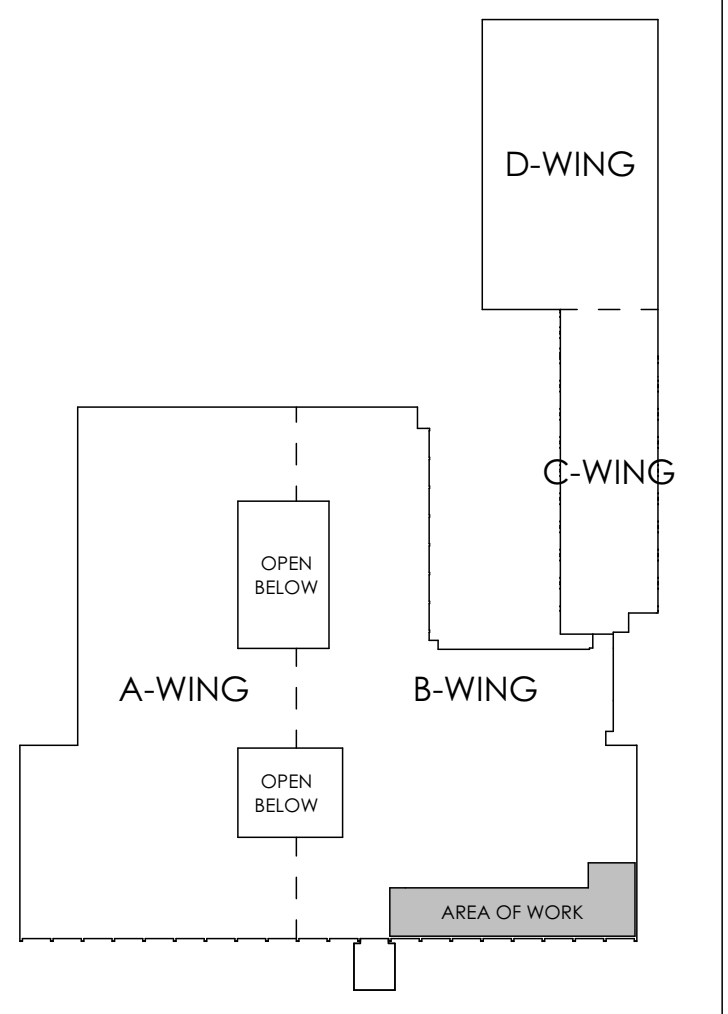
NKB 1ST FLOOR B-WING SOUTH
 MAJOR INTERIOR RENOVATION
 FOR THE FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
 TALLAHASSEE, FLORIDA

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A102

KEY PLAN



LEGEND

- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- ROOM 000 ROOM NAME # NUMBER
- ELEVATION/SECTION # SHEET #
- ELECTRICAL PANEL
- WORK LEGEND NOTE
- CARD READER; SEE DOOR HARDWARE NOTES AND SCHEDULE AND ELECTRICAL
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- FRMG FRAMING
- FF FINISHED FACE

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RENOVATION NOTES (CONT'D)

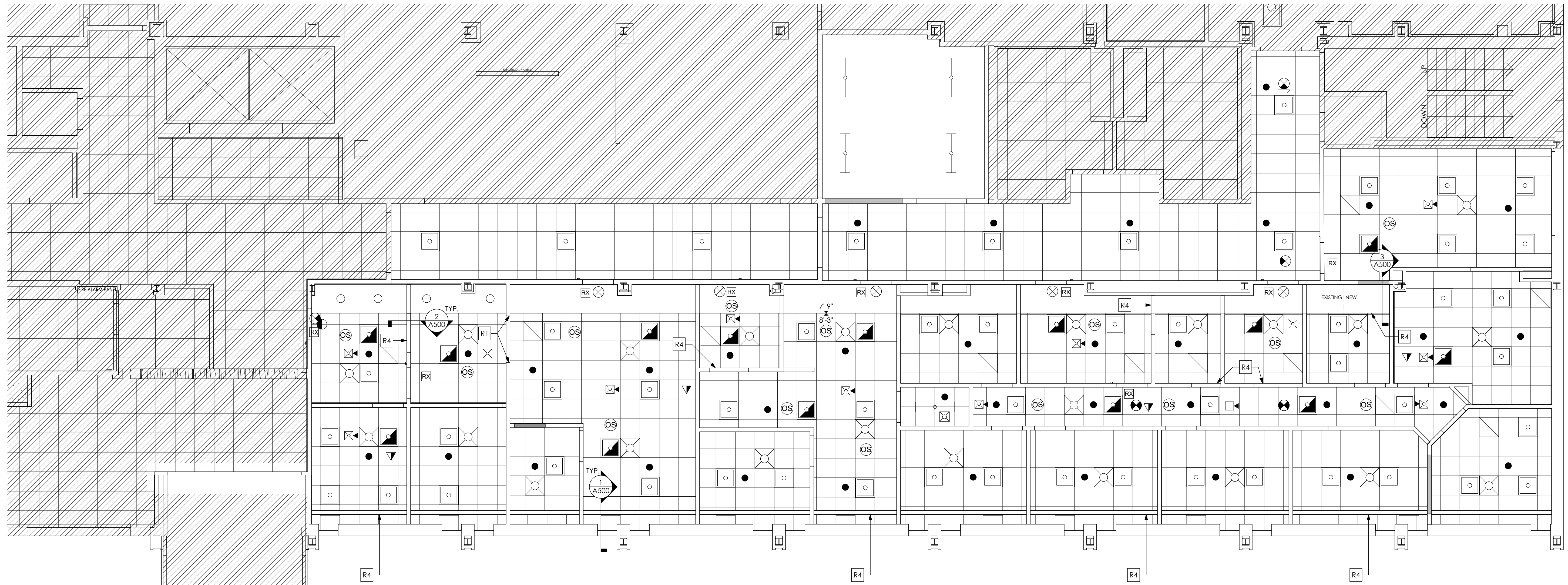
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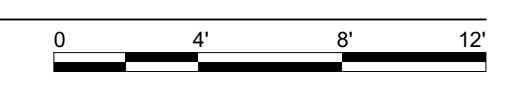
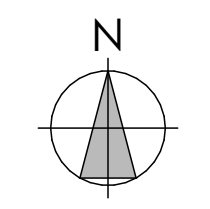


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*** COORDINATE CEILING EQUIPMENT WITH ENGINEER'S DRAWINGS ; INSTALL EQUIPMENT AS TIGHT AS POSSIBLE TO STRUCTURE ABOVE FOR MAXIMUM CEILING HEIGHT ***
 SEE FIRE PROTECTION AND MECHANICAL LEGENDS FOR SYMBOLS.

1 REFLECTED CEILING PLAN - RENOVATION
 A400 SCALE: 3/16" = 1'-0"

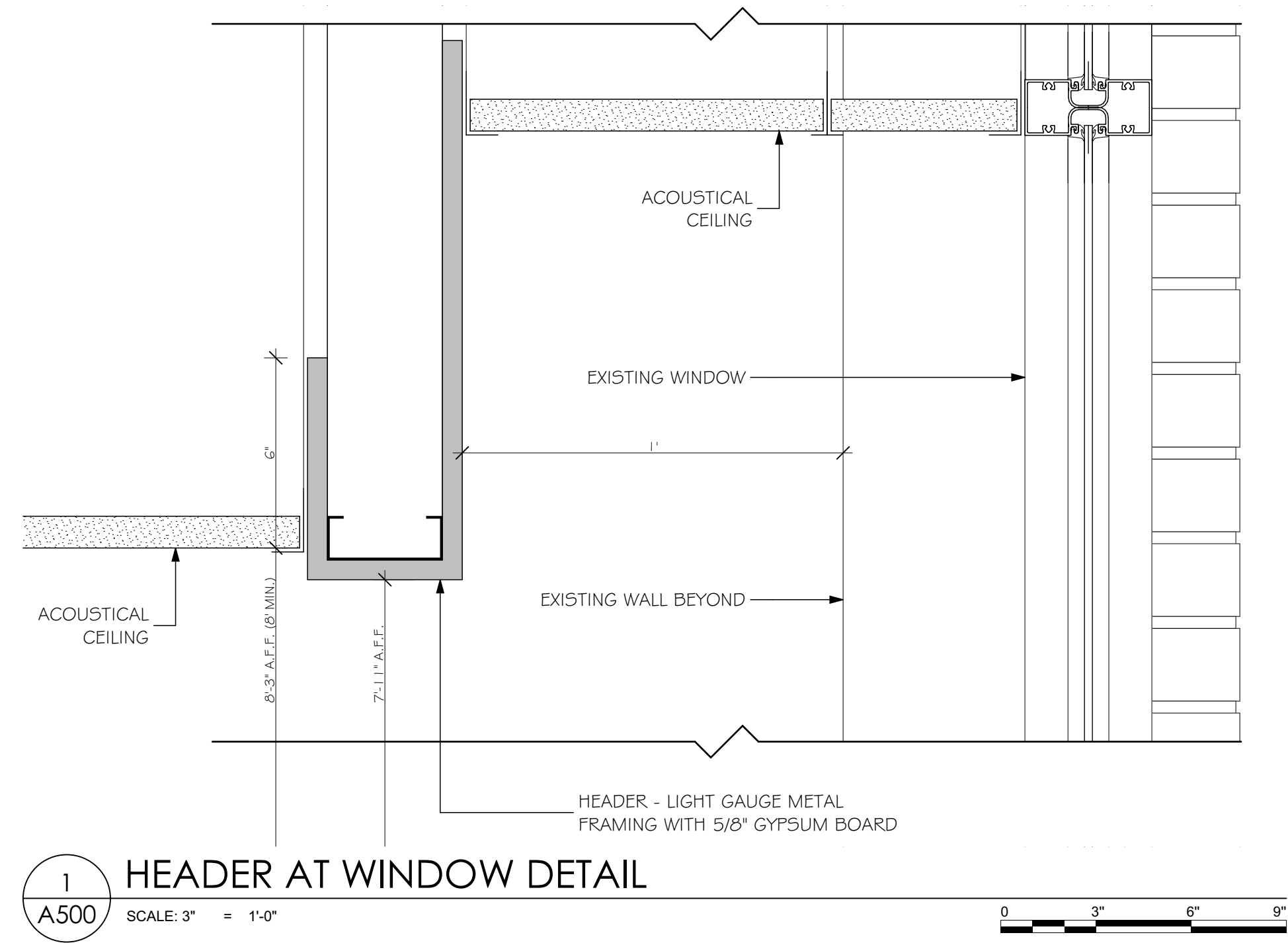


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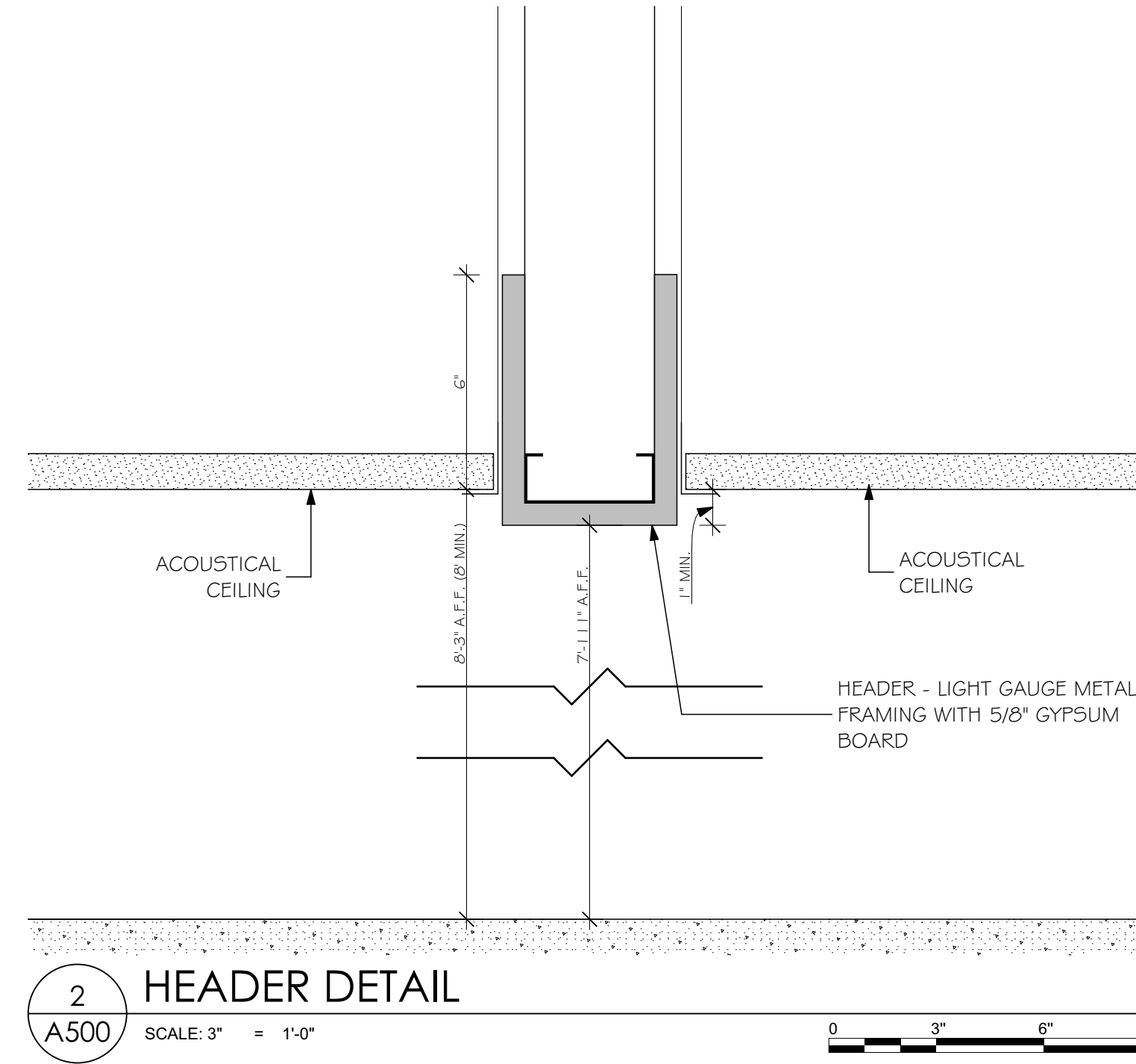
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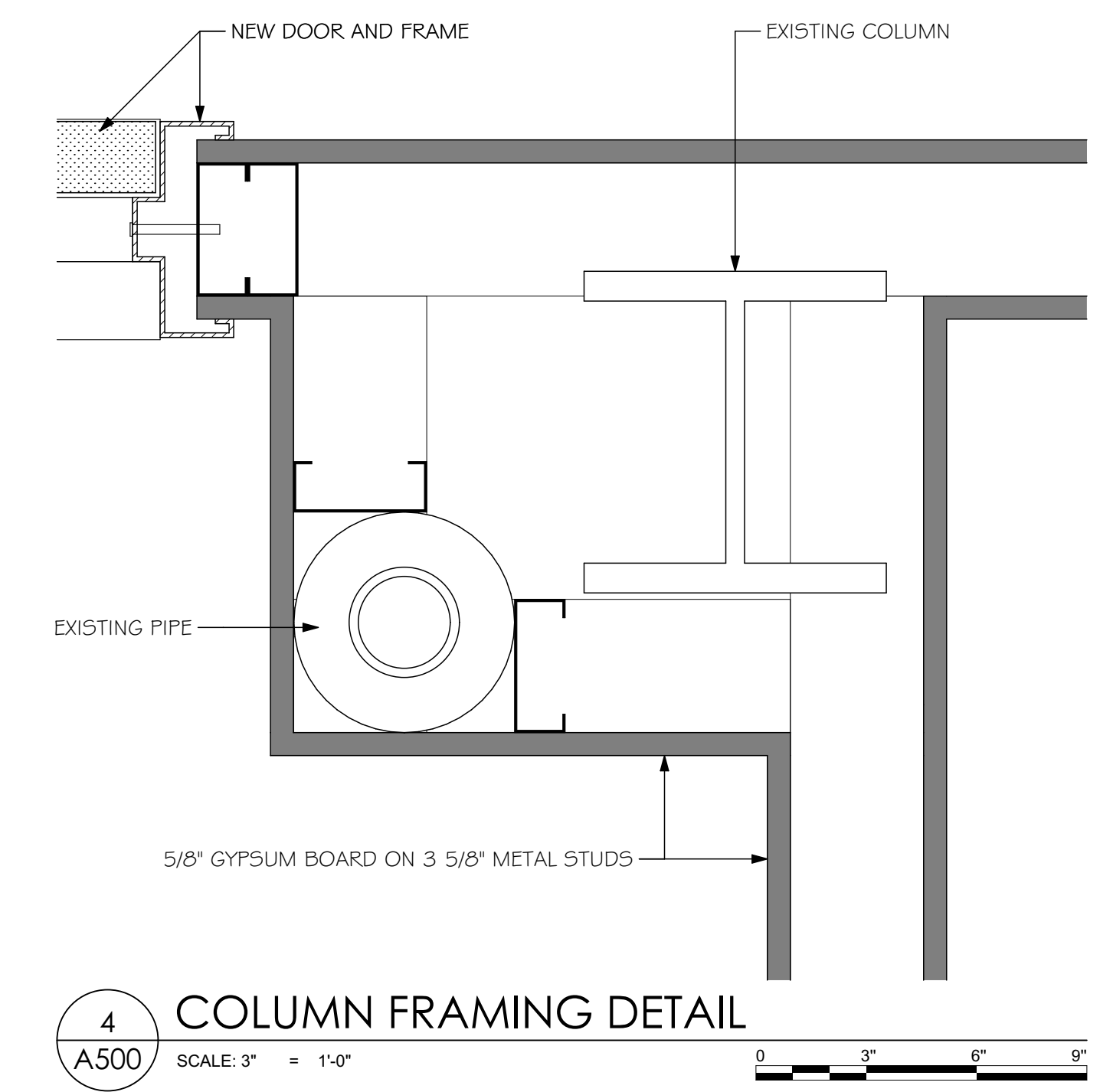
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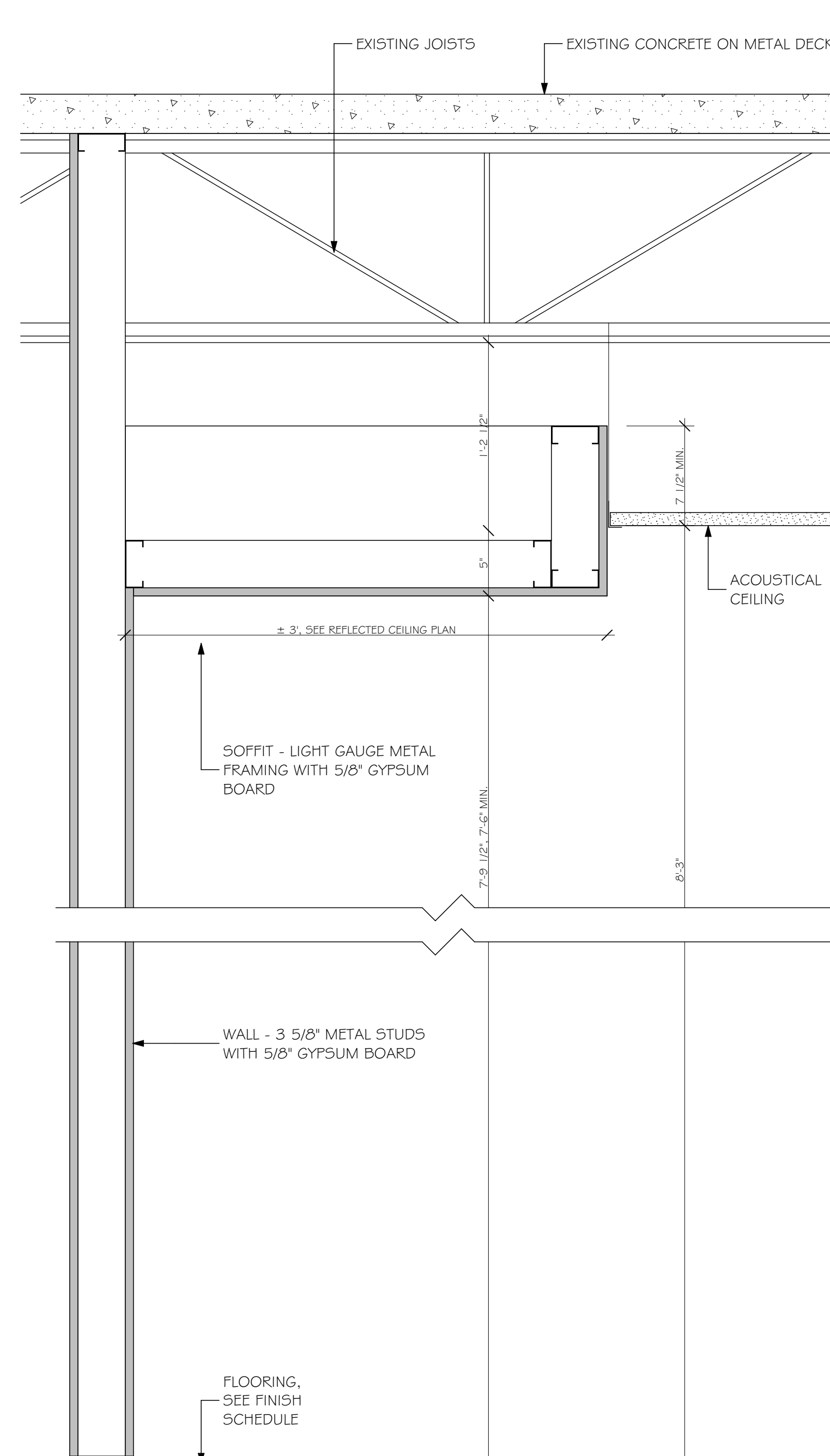
1 HEADER AT WINDOW DETAIL
A500 SCALE: 3" = 1'-0"



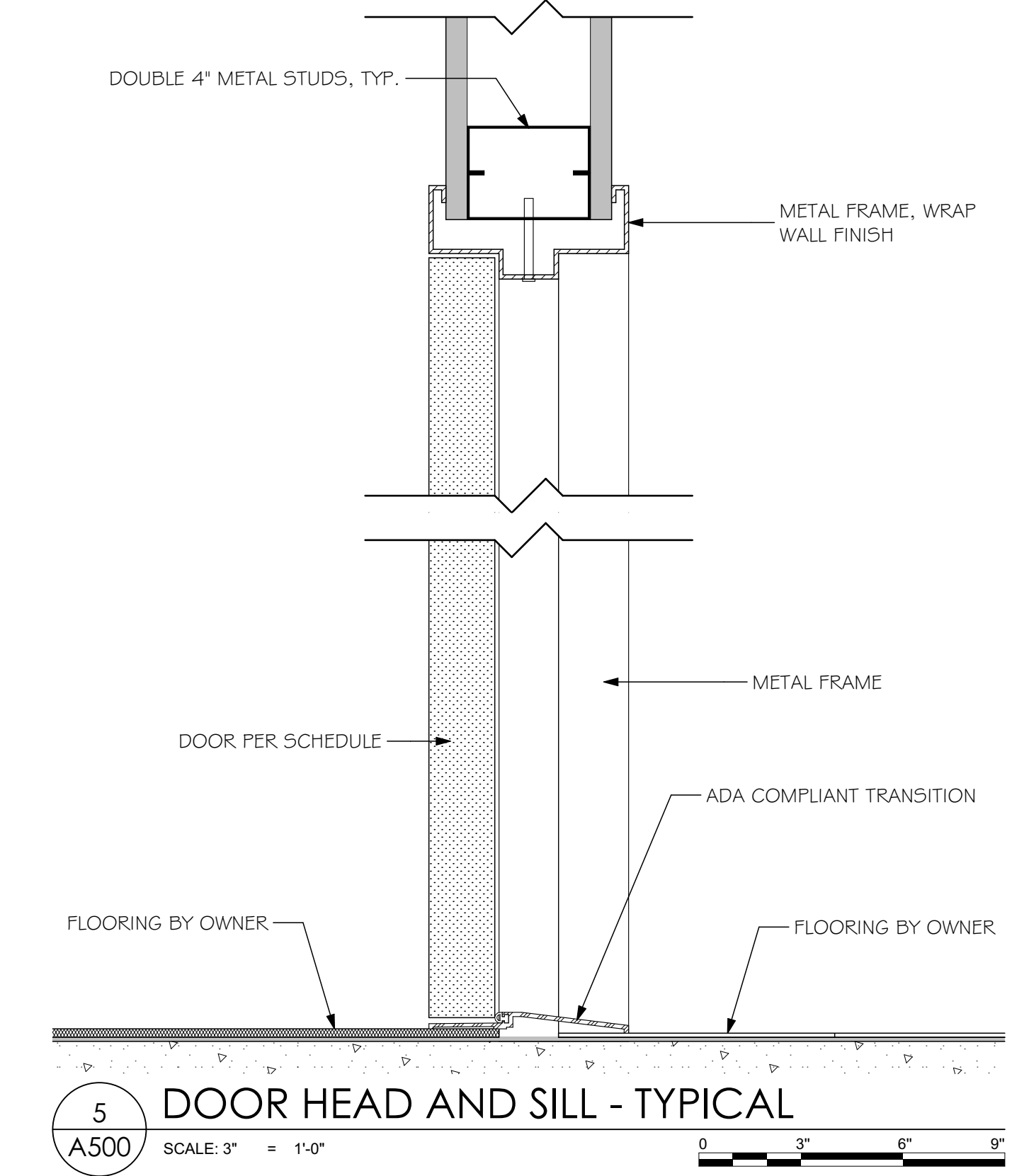
2 HEADER DETAIL
A500 SCALE: 3" = 1'-0"



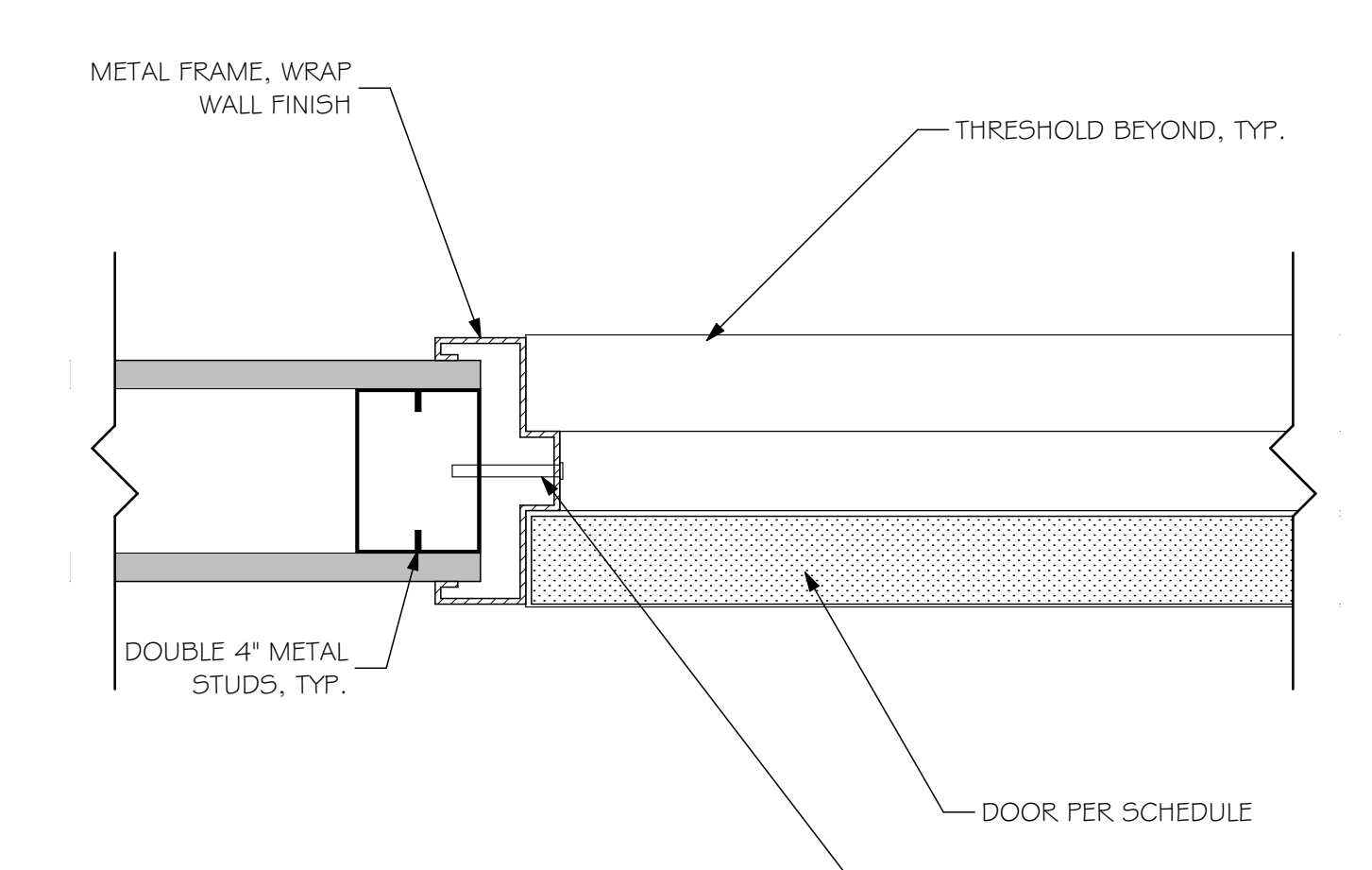
4 COLUMN FRAMING DETAIL
A500 SCALE: 3" = 1'-0"



3 SOFFIT SECTION
A500 SCALE: 1 1/2" = 1'-0"



5 DOOR HEAD AND SILL - TYPICAL
A500 SCALE: 3" = 1'-0"



6 DOOR JAMB - TYPICAL
A500 SCALE: 3" = 1'-0"

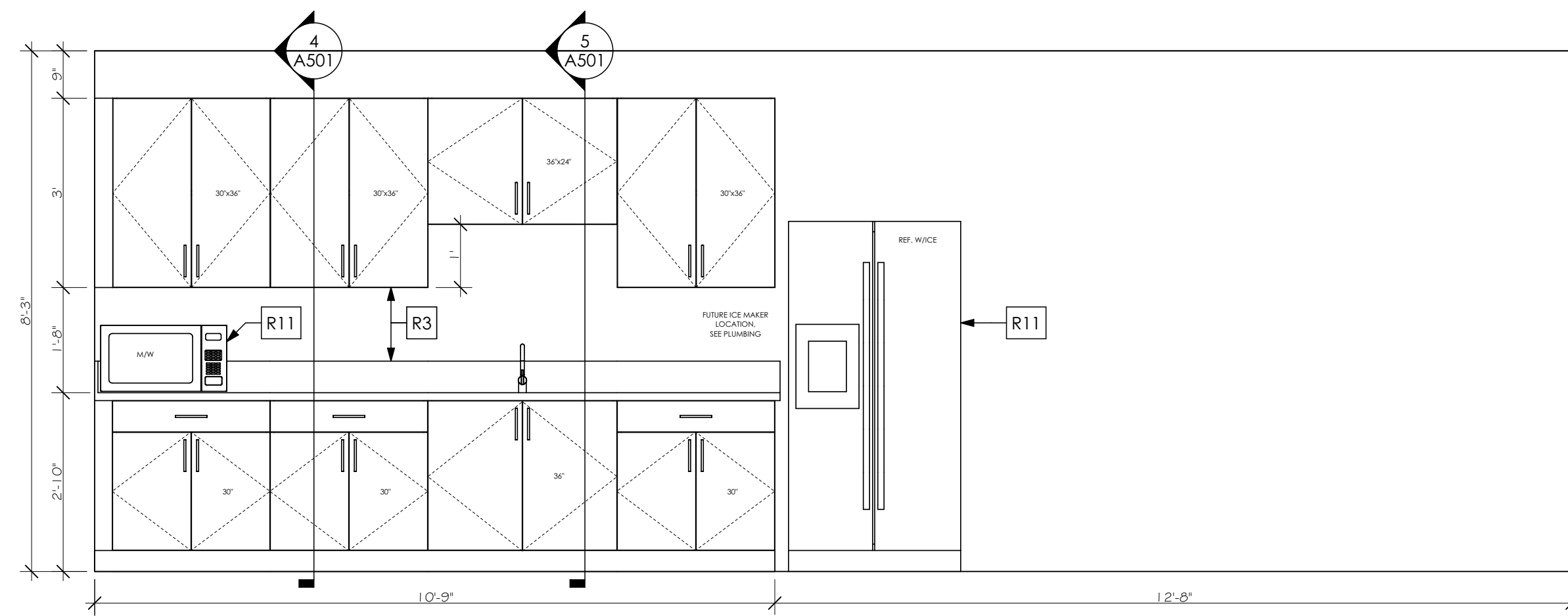
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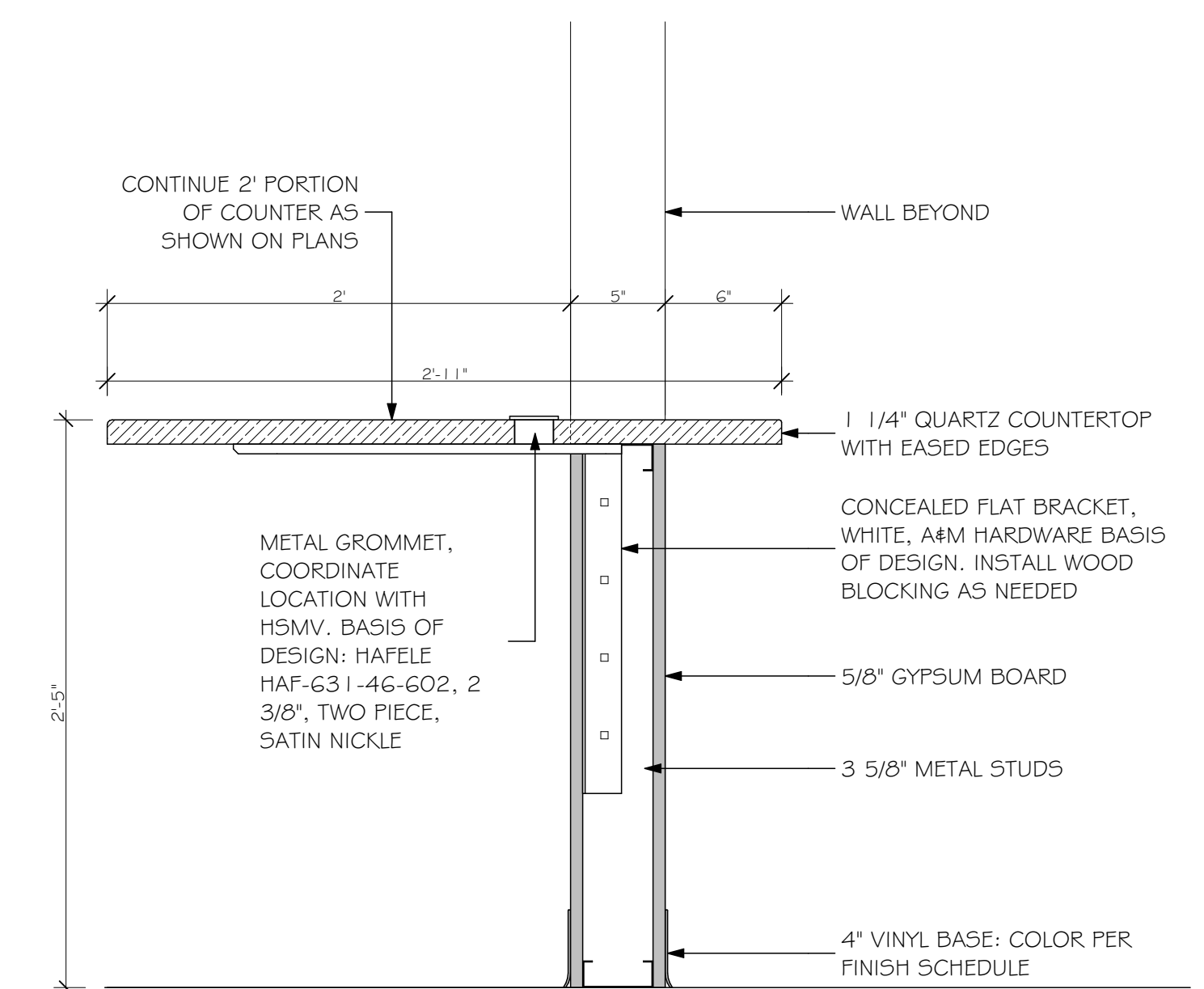
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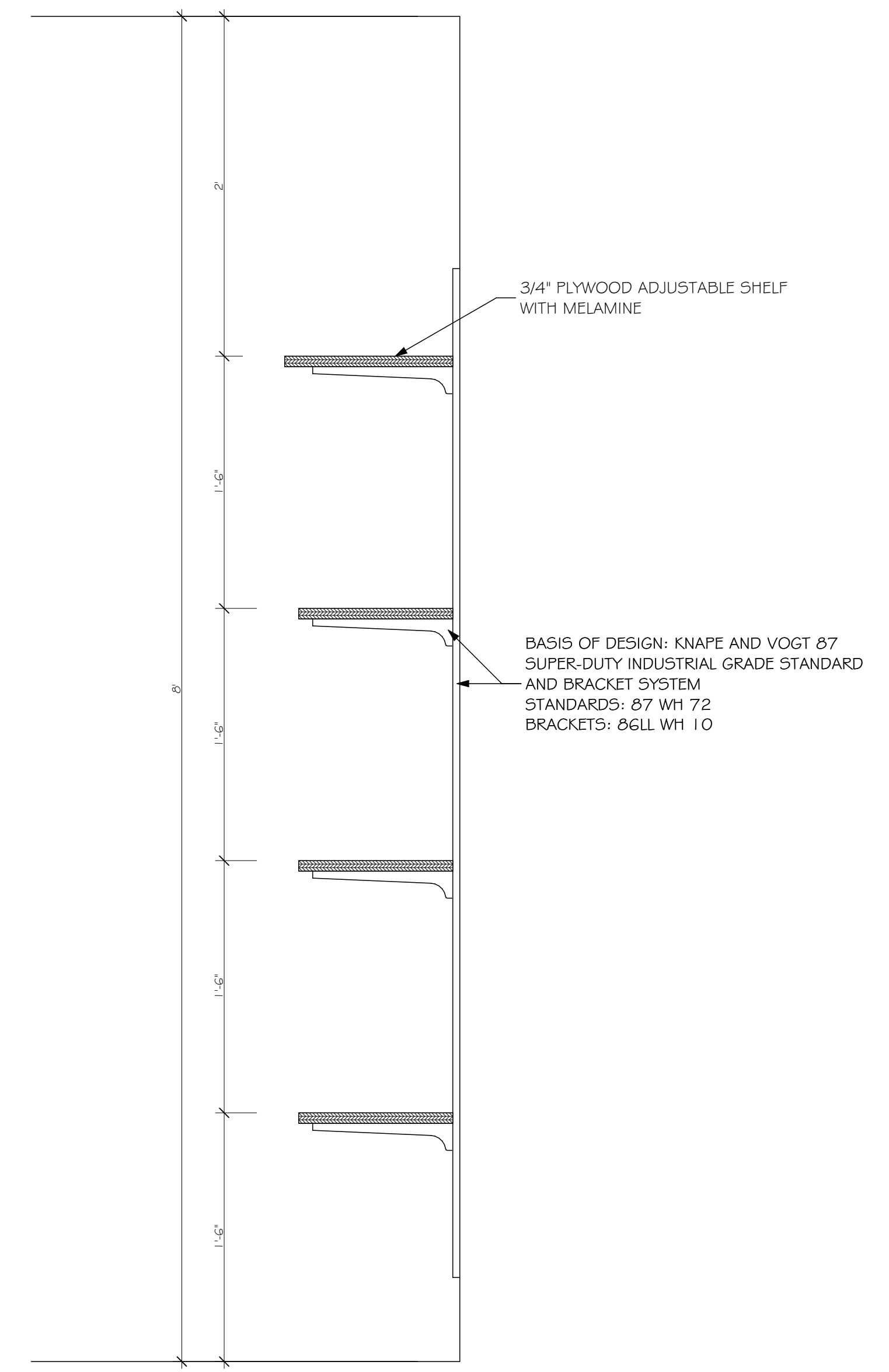
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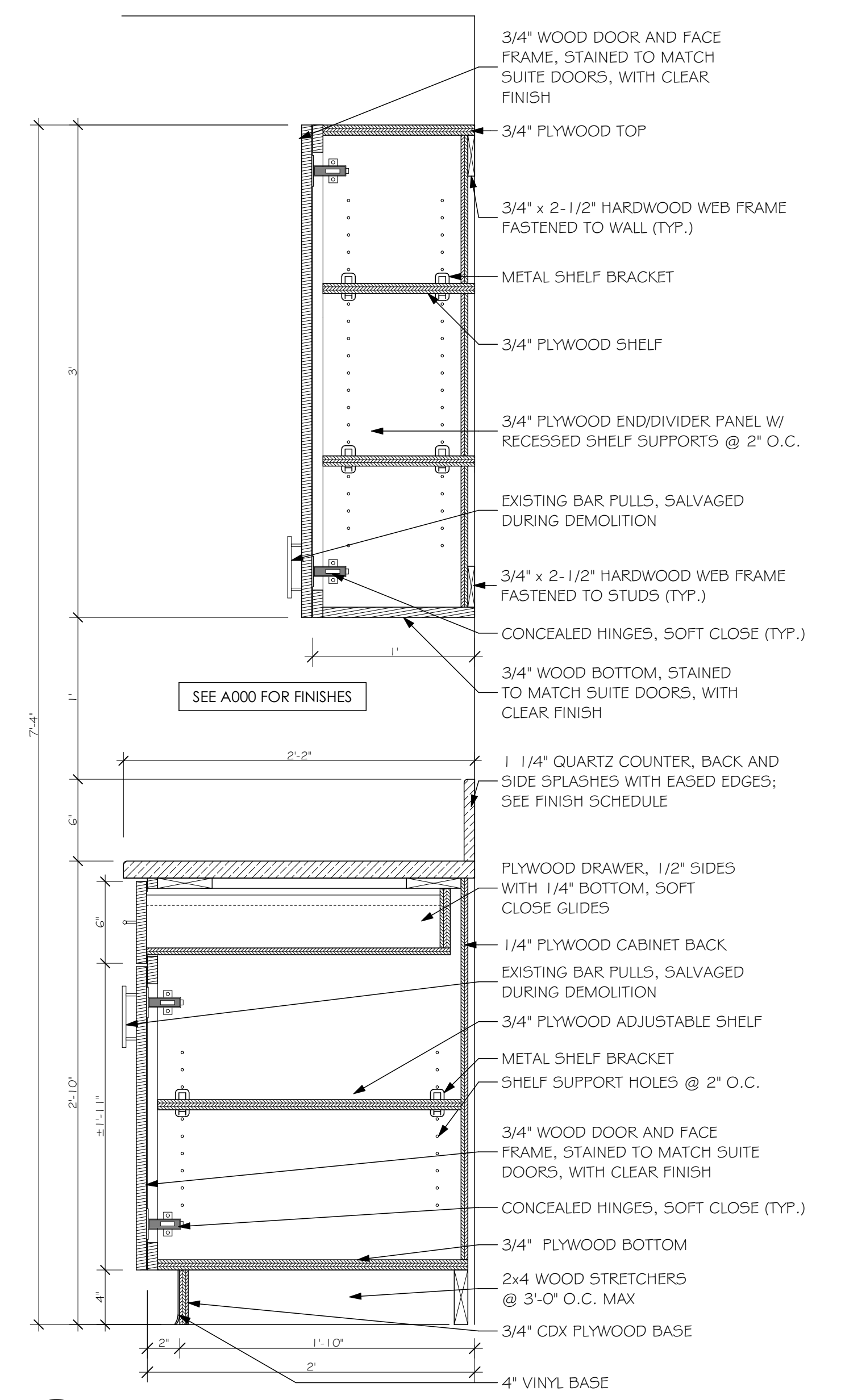
1 N BREAK ROOM ELEV.
A501 SCALE: 1/2" = 1'-0"



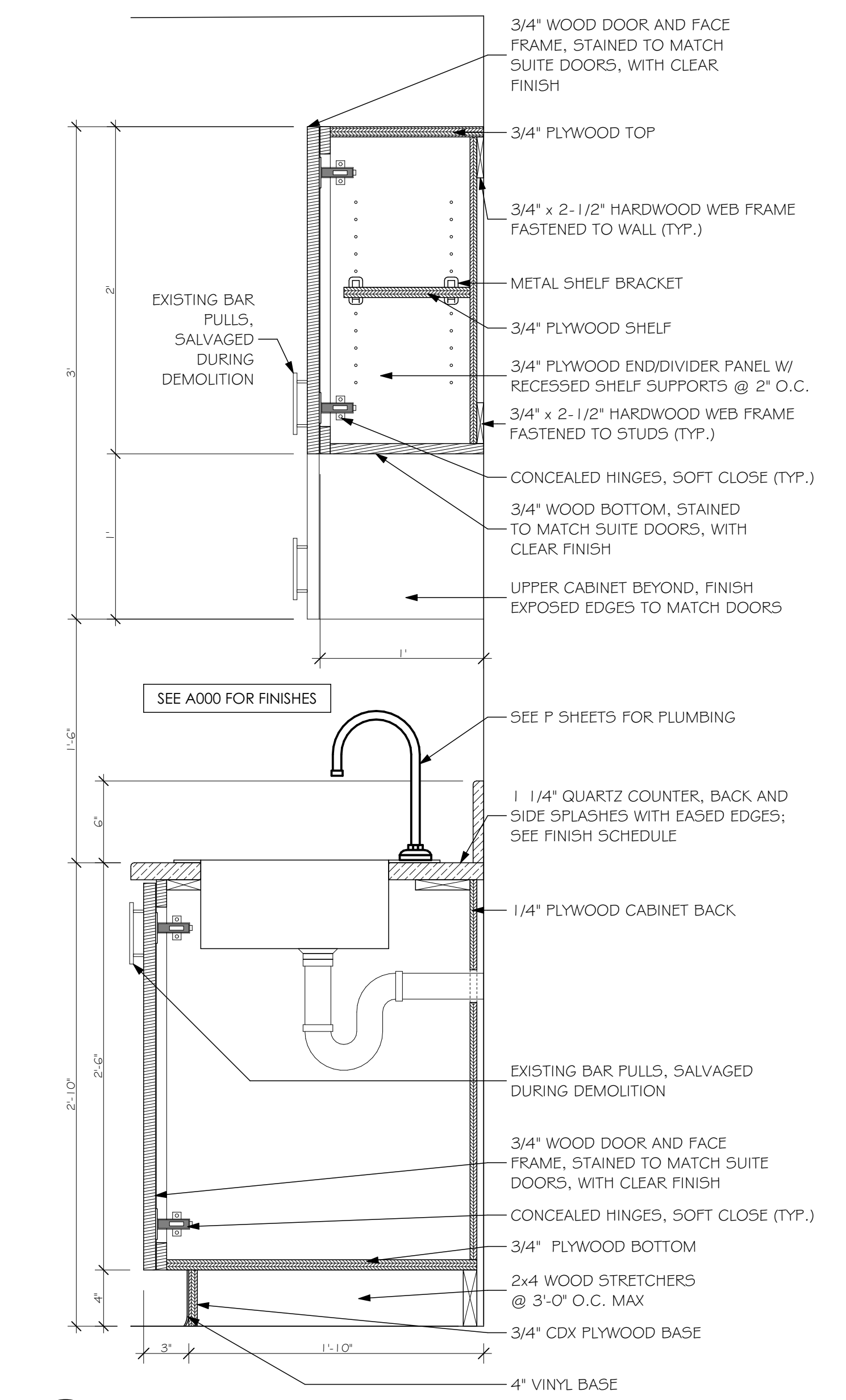
2 COUNTER DETAIL
A501 SCALE: 1 1/2" = 1'-0"



3 SHELF DETAIL
A501 SCALE: 1 1/2" = 1'-0"



4 MILLWORK DETAIL
A501 SCALE: 1 1/2" = 1'-0"



5 MILLWORK DETAIL - SINK
A501 SCALE: 1 1/2" = 1'-0"

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A501