

# PATH OF GRACE PHASE II

## WALTON COUNTY, FLORIDA

### WALTON COUNTY PROJECT #: MAJ24-000019



VICINITY MAP  
NOT TO SCALE

#### LEGAL DESCRIPTION

LOT 34, OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 20 WEST, SANTA ROSA PLANTATION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE(S) 4, OF THE PUBLIC RECORDS OF WALTON COUNTY, FLORIDA, LYING SOUTH OF THE RIGHT-OF-WAY OF CHURCHILL BAYOU AND WEST OF THE RIGHT-OF-WAY OF SOUTH CHURCH STREET.

#### UTILITY PROVIDERS

(WATER/SEWER)  
REGIONAL UTILITIES  
4432 U.S. HIGHWAY 98  
SANTA ROSA BEACH, FL 32459  
(850) 231-5114

(TELEPHONE)  
CENTURYLINK  
411 MARY ESTHER CUTOFF  
FT. WALTON BEACH, FL 32548  
(850) 244-1150

(ELECTRIC)  
CHELCO ELECTRIC  
140 HOLLYWOOD BLVD  
FT. WALTON BEACH, FL 32548  
(850) 255-5797

(GAS)  
OKALOOSA GAS DISTRICT  
20 HUGHES STREET NE  
FT. WALTON BEACH, FL 32548  
(850) 729-4700

(CABLE)  
COX COMMUNICATIONS  
99 EGLIN PKWY NE, SUITES 21 & 22  
FORT WALTON BEACH, FL 32548  
(850) 226-6872

(SOLID WASTE)  
WASTE MANAGEMENT  
78 S NICK WILSON WAY  
FREEPORT, FL 32439  
(850) 835-4230.

#### CLIENT INFORMATION

PATH OF GRACE, INC.  
EDDIE MANSFIELD  
PO BOX 9261  
MIRAMAR BEACH, FL 32550  
PHONE: 850-974-4573  
RECOVERY.PATHOFGRACE@GMAIL.COM

#### NOTE

USE LATEST WALTON COUNTY, REGIONAL UTILITIES, AND/OR F.D.O.T. TECHNICAL SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.

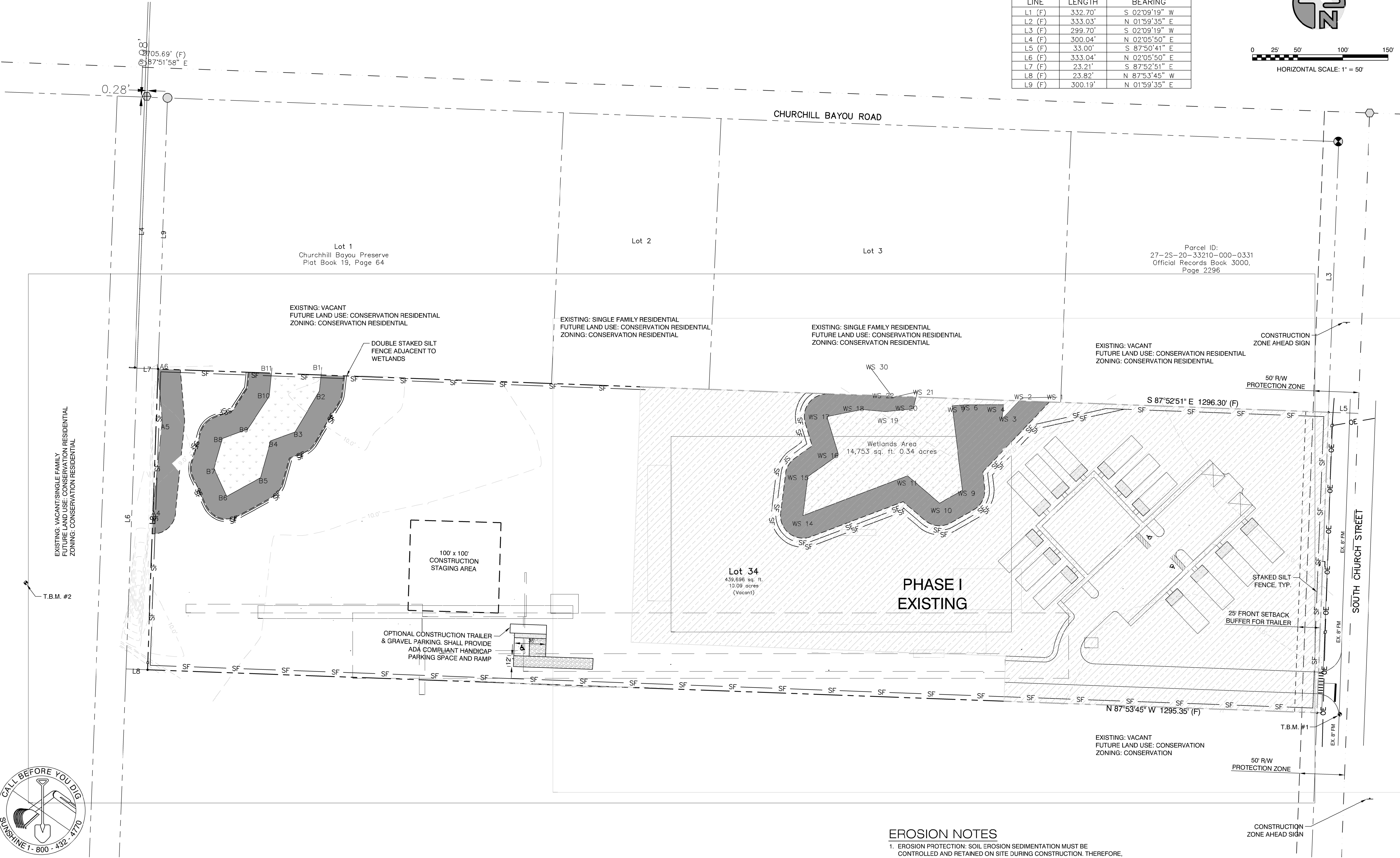
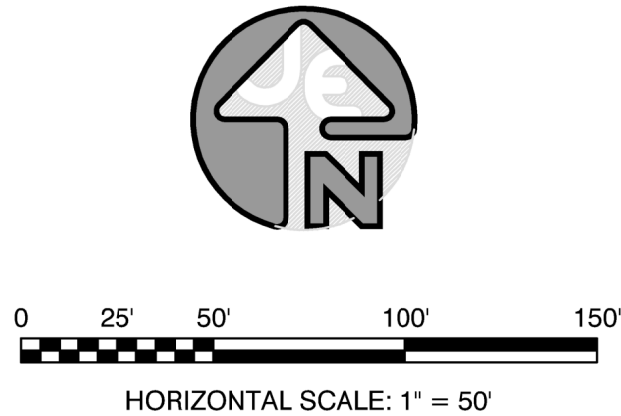
#### DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE OWNER AND ENGINEER AND THEIR RESPECTIVE MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF FLORIDA AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

SHEET INDEX	
Sheet Number	Sheet Title
01	COVER SHEET
02	EXISTING CONDITIONS
03	OVERALL SITE PLAN
04	SITE PLAN
05	UTILITY PLAN
06	GRADING PLAN
07	LANDSCAPE PLAN
08	MISCELLANEOUS DETAILS
09	SPECIFICATION SHEET I
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11	POTABLE WATER STANDARD DETAILS I
12	POTABLE WATER STANDARD DETAILS II
13	POTABLE WATER STANDARD DETAILS III
14	SANITARY SEWER DETAILS I
15	SANITARY SEWER DETAILS II
16	PRESSURE SEWER DETAILS I
17	PRESSURE SEWER DETAILS II
18	GRINDER PUMP DETAIL

FOR PERMITTING ONLY - NOT FOR CONSTRUCTION

LINE TABLE		
LINE	LENGTH	BEARING
L1 (F)	332.70'	S 02°09'19" W
L2 (F)	333.03'	N 01°59'35" E
L3 (F)	299.70'	S 02°09'19" W
L4 (F)	300.04'	N 02°05'50" E
L5 (F)	33.00'	S 87°50'41" E
L6 (F)	333.04'	N 02°05'50" E
L7 (F)	23.21'	S 87°52'51" E
L8 (F)	23.82'	N 87°53'45" W
L9 (F)	300.19'	N 01°59'35" E



EROSION NOTES

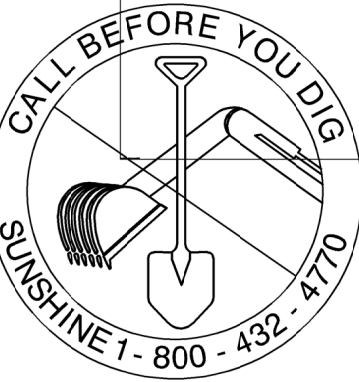
- EROSION PROTECTION: SOIL EROSION SEDIMENTATION MUST BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. THEREFORE, EROSION PROTECTION, SUCH AS STAKED BALED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION.
- SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATION.
- STORMWATER DETENTION BANKS TO THE NORMAL POOL ELEVATION SHALL BE SODDED.
- GRADES AT CURBS ARE AT FLOWLINE.
- SILT FENCE TO BE CONSTRUCTED AND MAINTAINED AROUND ALL INLETS; ALSO ACROSS ALL COURSE AT EDGE OF SITE AND AT 150' INTERVALS.
- DEVELOPER OR THEIR DESIGNATED CONTRACTOR SHALL PROVIDE COPIES OF NPDES NOTICE OF INTENT (NOI) AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO WALTON COUNTY DEVELOPMENT ORDER INSPECTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.

LEGEND

- WETLAND AREA TO REMAIN
- EXISTING CONTOUR
- STAKED SILT FENCE

SIGNAGE NOTE

"CONSTRUCTION ZONE AHEAD" SIGNAGE TO BE PLACED AT BOTH ENDS OF CONSTRUCTION ZONE, WITHIN VIEW OF TRAFFIC, AND REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION ACTIVITY.



BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY:  
VOELKER SURVEYING

CONTRACTOR RESPONSIBLE TO OBTAIN SIGNED AND SEALED SURVEY FROM OWNER AND VERIFY BENCHMARKS, CONTROL, AND CONSTRUCTION FIELD STAKES PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

VOELKER SURVEYING  
110 LOGAN LANE, SUITE 4  
SANTA ROSA BEACH, FLORIDA 32459  
PHONE: (850) 622-1610

BENCHMARK INFORMATION

ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (1988), NATIONAL GEODETIC SURVEY, OPUS STATIC SOLUTION (GEOID 09).

T.B.M.#1 PERMANENT CONTROL POINT (VOELKER BENCHMARK), ELEVATION = 11.38'

T.B.M.#2 1/2" CAPPED IRON ROD (VOELKER CONTROL POINT), ELEVATION = 6.02'

T.B.M. #3 1/2" CAPPED IRON ROD (VOELKER CONTROL POINT), ELEVATION = 5.59'

ENVIRONMENTAL PROVIDED BY:

WETLAND INFORMATION SHOWN HEREIN PROVIDED BY:  
BIOME CONSULTING GROUP  
1300 WEST GOVERNMENT STREET  
PENSACOLA, FL 32502  
PHONE: 850-435-9367

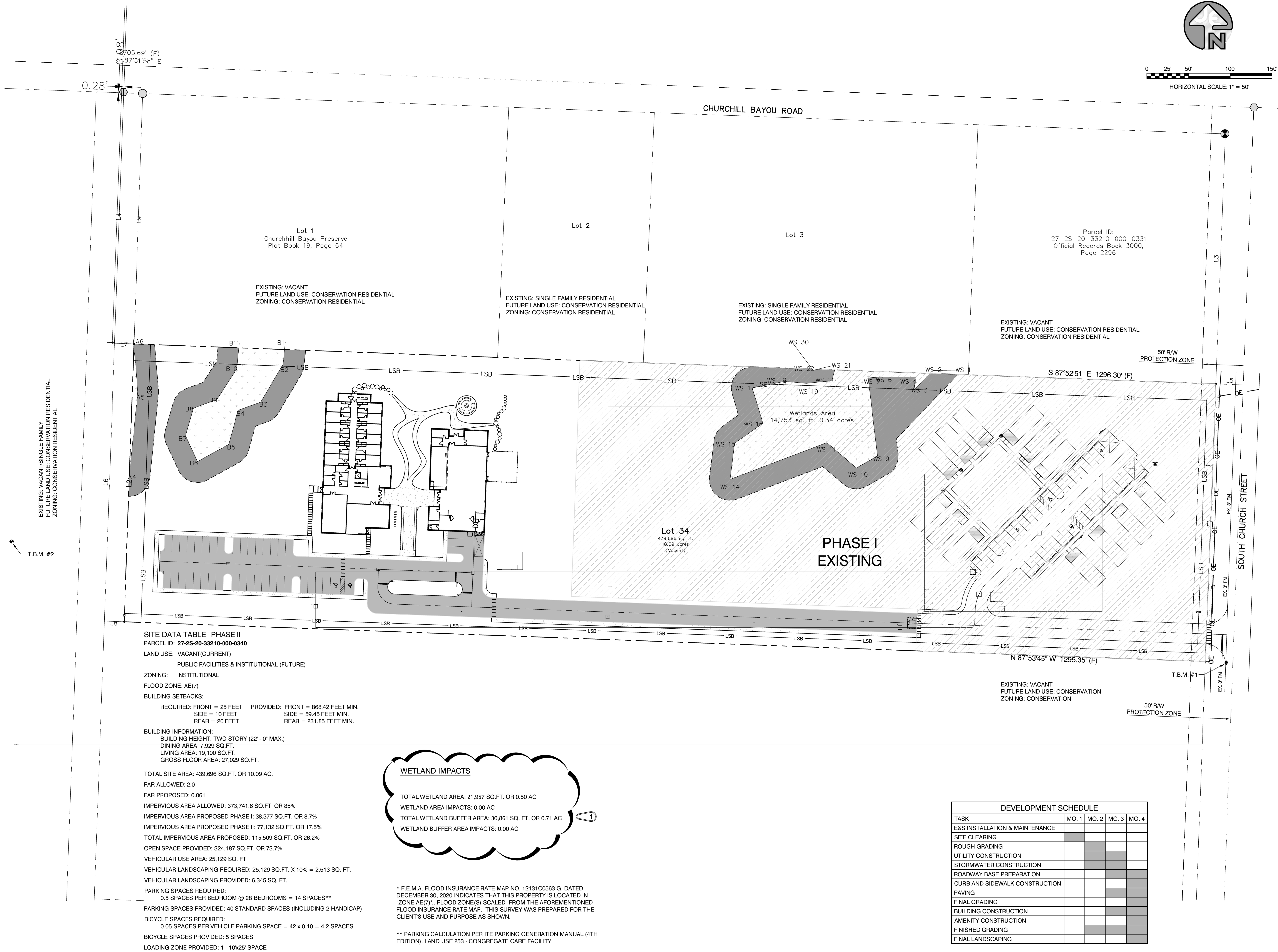
PATH OF GRACE, INC.

PATH OF GRACE PHASE II  
WALTON COUNTY, FLORIDA  
EXISTING CONDITIONS

23-70  
06/2024  
JSE/JAW  
JAW



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**SITE DATA TABLE - PHASE II**  
PARCEL ID: 27-25-20-33210-000-0340

LAND USE: VACANT(CURRENT)  
PUBLIC FACILITIES & INSTITUTIONAL (FUTURE)

ZONING: INSTITUTIONAL  
FLOOD ZONE: AE(7)

**BUILDING SETBACKS:**

REQUIRED: FRONT = 25 FEET    PROVIDED: FRONT = 868.42 FEET MIN.  
SIDE = 10 FEET    SIDE = 59.45 FEET MIN.  
REAR = 20 FEET    REAR = 231.85 FEET MIN.

**BUILDING INFORMATION:**

BUILDING HEIGHT: TWO STORY (22' - 0" MAX.)  
DINING AREA: 7,929 SQ.FT.  
LIVING AREA: 19,100 SQ.FT.  
GROSS FLOOR AREA: 27,029 SQ.FT.

TOTAL SITE AREA: 439,696 SQ.FT. OR 10.09 AC.

FAR ALLOWED: 2.0

FAR PROPOSED: 0.061

IMPERVIOUS AREA ALLOWED: 373,741.6 SQ.FT. OR 85%

IMPERVIOUS AREA PROPOSED PHASE I: 38,377 SQ.FT. OR 8.7%

IMPERVIOUS AREA PROPOSED PHASE II: 77,132 SQ.FT. OR 17.5%

TOTAL IMPERVIOUS AREA PROPOSED: 115,509 SQ.FT. OR 26.2%

OPEN SPACE PROVIDED: 324,187 SQ.FT. OR 73.7%

VEHICULAR USE AREA: 25,129 SQ. FT

VEHICULAR LANDSCAPING REQUIRED: 25,129 SQ.FT. X 10% = 2,513 SQ. FT.

VEHICULAR LANDSCAPING PROVIDED: 6,345 SQ. FT.

**PARKING SPACES REQUIRED:**

0.5 SPACES PER BEDROOM @ 28 BEDROOMS = 14 SPACES\*\*

PARKING SPACES PROVIDED: 40 STANDARD SPACES (INCLUDING 2 HANDICAP)

**BICYCLE SPACES REQUIRED:**

0.05 SPACES PER VEHICLE PARKING SPACE = 42 x 0.10 = 4.2 SPACES

BICYCLE SPACES PROVIDED: 5 SPACES

LOADING ZONE PROVIDED: 1 - 10x25' SPACE

**WETLAND IMPACTS**

TOTAL WETLAND AREA: 21,957 SQ.FT. OR 0.50 AC  
WETLAND AREA IMPACTS: 0.00 AC  
TOTAL WETLAND BUFFER AREA: 30,861 SQ. FT. OR 0.71 AC  
WETLAND BUFFER AREA IMPACTS: 0.00 AC

\* F.E.M.A. FLOOD INSURANCE RATE MAP NO. 12131C0563 G, DATED DECEMBER 30, 2020 INDICATES THAT THIS PROPERTY IS LOCATED IN "ZONE AE(7)". FLOOD ZONE(S) SCALED FROM THE AFOREMENTIONED FLOOD INSURANCE RATE MAP. THIS SURVEY WAS PREPARED FOR THE CLIENT'S USE AND PURPOSE AS SHOWN.

\*\* PARKING CALCULATION PER ITE PARKING GENERATION MANUAL (4TH EDITION), LAND USE 253 - CONGREGATE CARE FACILITY

**DEVELOPMENT SCHEDULE**

TASK	MO. 1	MO. 2	MO. 3	MO. 4
E&S INSTALLATION & MAINTENANCE				
SITE CLEARING				
ROUGH GRADING				
UTILITY CONSTRUCTION				
STORMWATER CONSTRUCTION				
ROADWAY BASE PREPARATION				
CURB AND SIDEWALK CONSTRUCTION				
PAVING				
FINAL GRADING				
BUILDING CONSTRUCTION				
AMENITY CONSTRUCTION				
FINISHED GRADING				
FINAL LANDSCAPING				

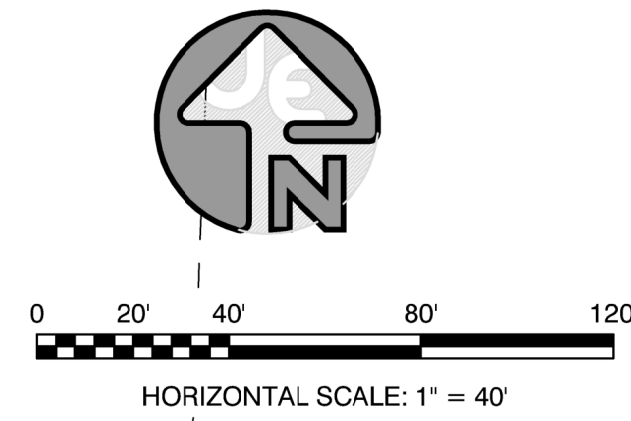
PATH OF GRACE, INC.

PATH OF GRACE PHASE II  
WALTON COUNTY, FLORIDA  
OVERALL SITE PLAN

23-70  
06/2024  
JSE/JAW  
JAW

[illegible]

DEVELOPMENT AND/OR CLEARING OF ANY  
TYPE WITHIN THE 25' WETLAND BUFFER AND  
WETLANDS SHALL NOT BE ALLOWED

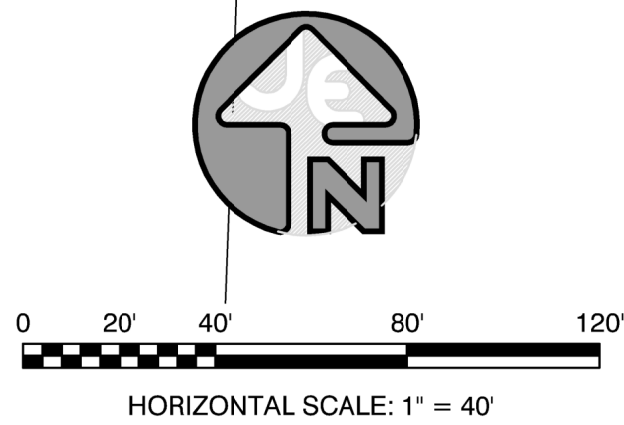
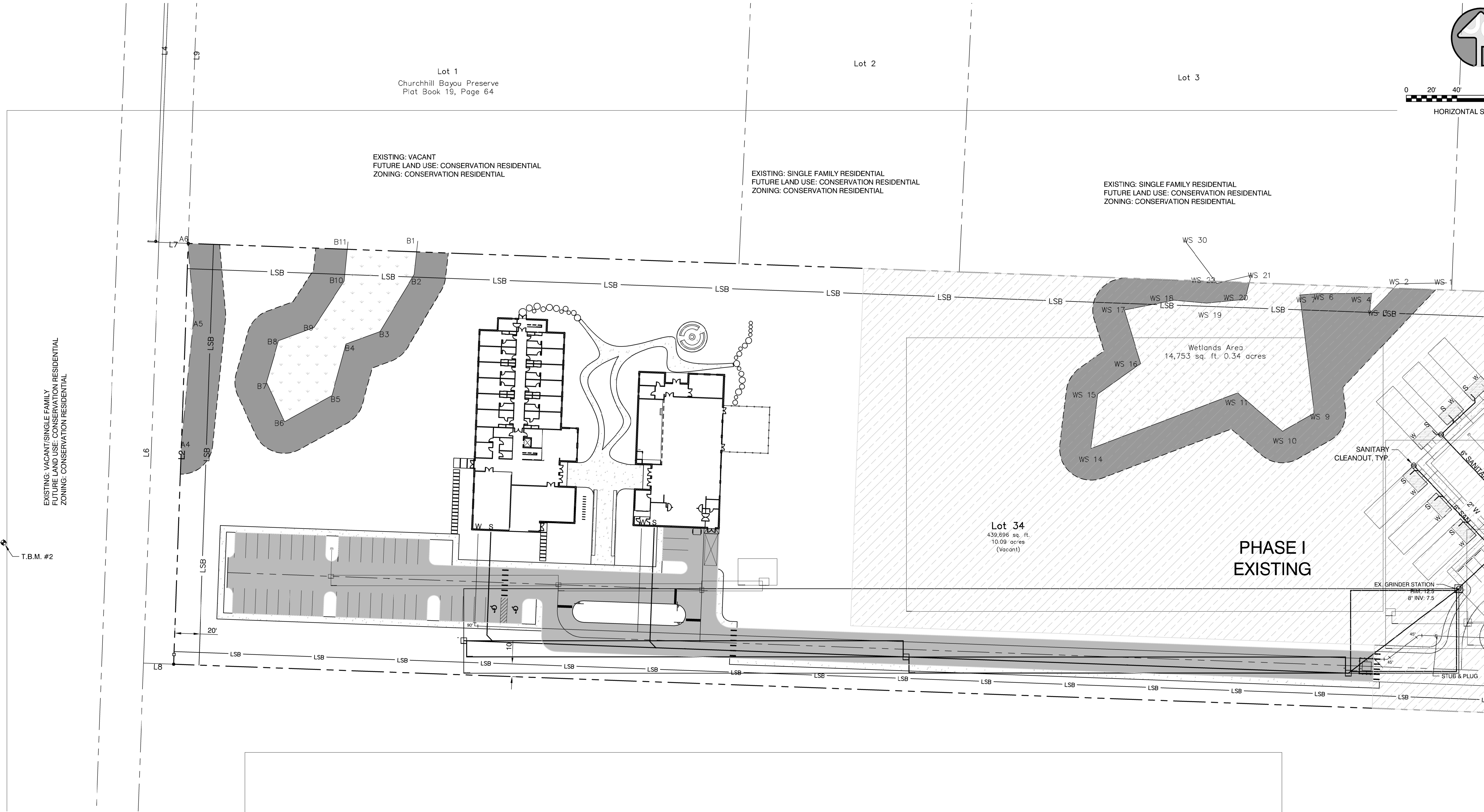


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- NOTE:**
1. FIELD VERIFY EXISTING INVERTS AND PUMP ELEVATION PRIOR TO COMMENCEMENT OF UTILITY PURCHASE AND CONSTRUCTION.
  2. ALL UTILITIES SHALL BE UNDERGROUND.

**LEGEND**

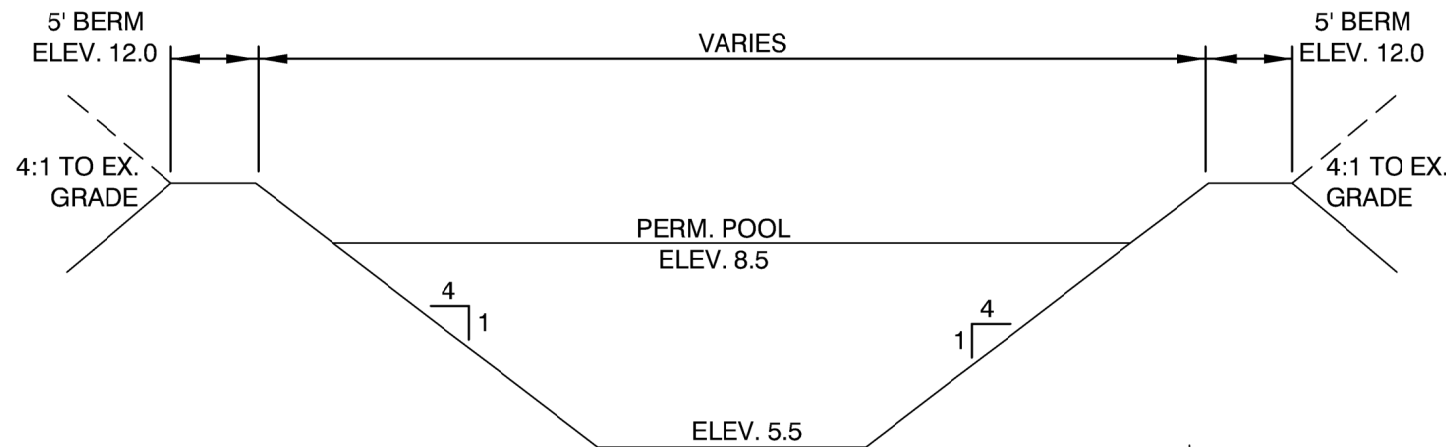
- CONCRETE PAVEMENT
- PROPERTY LINE
- 6"W PROPOSED WATER LINE
- PROPOSED WATER SERVICE LATERAL
- PROPOSED SANITARY SERVICE LATERAL
- PROPOSED GRINDER STATION
- PROPOSED SANITARY CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW PREVENTER

PATH OF GRACE, INC.

PATH OF GRACE PHASE II  
WALTON COUNTY, FLORIDA  
UTILITY PLAN

23-70  
06/2024  
JSE/JAW  
JAW





NOTE: ALL SLOPES AND BOTTOM OF POND TO BE SODDED

Lot 1  
Churchhill Bayou Preserve  
Plat Book 19, Page 64

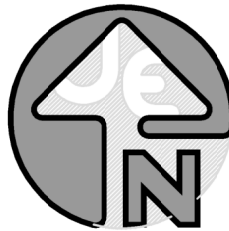
STORMWATER POND SECTION A-A  
N.T.S.

Lot 2

Lot 3

LEGEND

- PROPERTY LINE
- SF STAKED SILT FENCE
- 10 EXISTING CONTOUR
- 12 PROPOSED CONTOUR
- PROPOSED SANITARY MANHOLE
- 2.0% DRAINAGE FLOW DIRECTION



EXISTING: VACANT SINGLE FAMILY  
FUTURE LAND USE: CONSERVATION RESIDENTIAL  
ZONING: CONSERVATION RESIDENTIAL

EXISTING: VACANT  
FUTURE LAND USE: CONSERVATION RESIDENTIAL  
ZONING: CONSERVATION RESIDENTIAL

EXISTING: SINGLE FAMILY RESIDENTIAL  
FUTURE LAND USE: CONSERVATION RESIDENTIAL  
ZONING: CONSERVATION RESIDENTIAL

EXISTING: SINGLE FAMILY RESIDENTIAL  
FUTURE LAND USE: CONSERVATION RESIDENTIAL  
ZONING: CONSERVATION RESIDENTIAL

EXISTING  
FUTURE  
ZONING

STUB CUT 12" ADS  
N-12 FOR ROOF  
DRAINS, TYP.

DOUBLE STAKED SILT  
FENCE ADJACENT TO  
WETLANDS

WS 30  
WS 23  
WS 21  
WS 2  
WS 1  
WS 17  
WS 18  
WS 20  
WS 19  
WS 16  
WS 15  
WS 14  
WS 11  
WS 10  
WS 9  
WS 8  
WS 6  
WS 4  
WS 3

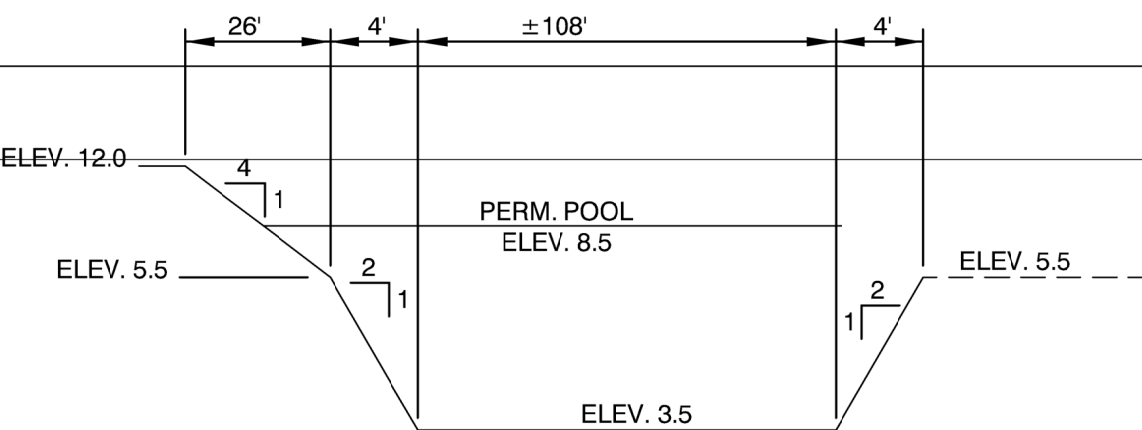
Wetlands Area  
14,753 sq. ft. 0.34 acres

Lot 34  
439,696 sq. ft.  
10.09 acres  
(Vacant)

PHASE I  
EXISTING

TIE INTO EXISTING  
ASPHALT PAVEMENT.  
MATCH EXISTING GRADES

EXISTING  
FUTURE  
ZONING



NOTE: ALL SLOPES AND BOTTOM OF POND TO BE SODDED

STORMWATER POND SECTION B-B  
N.T.S.

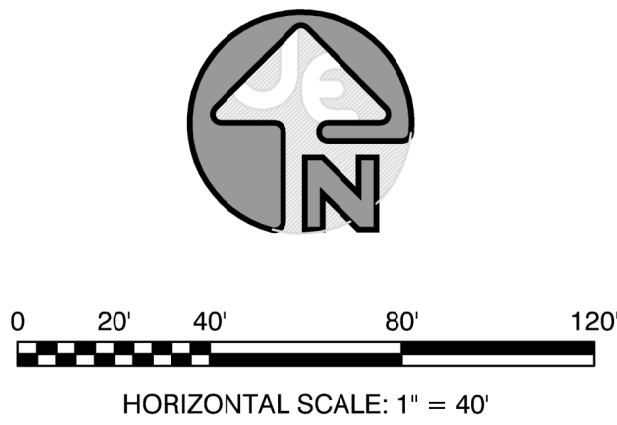
NOTE:

1. OPERATION AND MAINTENANCE OF ALL ON-SITE STORMWATER TREATMENT FACILITIES SHALL BE PROVIDED BY DEVELOPER OF THE PROPERTY AND ITS HEIRS.

PATH OF GRACE, INC.

PATH OF GRACE PHASE II  
WALTON COUNTY, FLORIDA  
GRADING PLAN

23-70  
06/2024  
JSE/JAW  
JAW



LANDSCAPE NOTES:

- LANDSCAPE BUFFERS MUST MEET MINIMUM WALTON COUNTY LDC PLANTING BURDENS NOTED ABOVE. EXISTING NATIVE SPECIES WITHIN THE LANDSCAPE BUFFER MAY BE PRESERVED AND COUNTED IN LIEU OF NEW PLANTINGS WHERE APPLICABLE. IF EXISTING PLANT MATERIAL DOES NOT SATISFY THE PLANTING REQUIREMENTS ADDITIONAL LANDSCAPE MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH WALTON COUNTY STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON PLANS PRIOR TO SUBMISSION OF BID. ANY ERRORS IN QUANTITIES AFTER BIDS HAVE BEEN SUBMITTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO ADDITIONAL MONEY WILL BE GRANTED.
- LANDSCAPING AND IRRIGATION SHALL BE IN ACCORDANCE WITH WALTON COUNTY LAND DEVELOPMENT CODE CHAPTER 5 - XERISCAPING, AND ALL APPLICABLE SUBSECTIONS.
- LANDSCAPE MAINTENANCE SCHEDULE:  
- MOW GRASS WEEKLY DURING GROWING SEASON.  
  
- TREES & SHRUBS SHALL BE PRUNED EVERY QUARTER, OR AS NECESSARY.
- ALL LANDSCAPING SHALL BE MAINTAINED IN PERPETUITY. DISEASED OR DEAD LANDSCAPING SHALL BE REPLACED IN A TIMELY MANNER.

WALTON COUNTY LANDSCAPE NOTES:

- MINIMUM SIZE OF PLANT MATERIALS. ALL NEWLY PLANTED LANDSCAPE MATERIAL TO MEET THE REQUIREMENTS OF THIS LAND DEVELOPMENT CODE SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD NURSERY STOCK (ANSI Z60.1). UNLESS OTHERWISE SPECIFIED IN THE LAND DEVELOPMENT CODE, THE FOLLOWING MINIMUM SIZE REQUIREMENTS APPLY TO ALL PLANTED MATERIAL:
- CANOPY TREES (TYPE 1 AND TYPE 2 SHADE TREES) SHALL BE A MINIMUM OF 3 INCHES CALIPER.
- ALL STREET FRONTAGES ALONG CLASSIFIED COLLECTOR ROADWAYS SHALL BE LANDSCAPED WITH TREES AND OTHER LANDSCAPING MUST BE MAINTAINED TO ASSURE UNOBSTRUCTED VISIBILITY BETWEEN THREE (3) AND NINE (9) FEET ABOVE THE AVERAGE GRADE OF THE ADJACENT STREET AND THE DRIVEWAY INTERSECTIONS
- LANDSCAPE MATERIAL. DIVERSITY OF PLANTINGS SHOULD BE STRIVED FOR IN ALL REQUIRED LANDSCAPE PLANTINGS, AND IN NO CASE SHOULD ONE SPECIES CONSTITUTE MORE THAN 50 PERCENT OF A PLANTING.
- THE INSTALLATION OF STREET TREES (CANOPY UNLESS PROHIBITED BY OVERHEAD UTILITIES), SHRUBS, AND VEGETATIVE GROUND COVER SHALL BE REQUIRED FOR PROJECTS AT A MINIMUM OF ONE (1) TREE PRESERVED OR PLANTED FOR EVERY TWENTY-FIVE (25) FEET OF STREET FRONTAGE, AND VEGETATIVE GROUND COVER OR OTHER LANDSCAPE MATERIALS.
- PLANT SPECIES SHOWN ARE SUGGESTIONS ONLY. PLANT TYPES MAY BE SUBSTITUTED WITH ANY ITEM LISTED IN THE APPROVED LIST FOUND IN THE WALTON COUNTY LAND DEVELOPMENT CODE, SO LONG AS ALL OTHER REQUIREMENTS ARE STILL MET.
- ALL OPEN SPACE AREAS SHALL BE GRASSED. ADDITIONAL GROUNDCOVER SHALL BE A MINIMUM #1 CONTAINER CLASS.

PLANT LIST

		COMMON NAME	SCIENTIFIC NAME	HT.	QTY.	CAL.	ROOT	REMARKS
	UNDERSTORY	CHAPMAN OAK	QUERCUS CHAPMANII	8'	35	3"	B&B	MIN. #15 CONTAINER
		MYRTLE OAK	QUERCUS MYRTIFOLIA	8'	36	3"	B&B	MIN. #15 CONTAINER
	CANOPY	RED MAPLE	ACER RUBRUM	8'	58	3"	B&B	FULL, WELL SHAPED
		SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	8'	58	3"	B&B	FULL, WELL SHAPED
	SHRUBS	SAW PALMETTO	SERENOA REPENS	-	153	-	-	MIN. #3 CONTAINER
		YAUPON HOLLY	ILEX VOMITORIA	-	154	-	-	MIN. #3 CONTAINER

WALTON COUNTY LDC 5.01.01(C)  
LANDSCAPE MATERIAL. DIVERSITY OF PLANTINGS SHOULD BE STRIVED FOR IN ALL REQUIRED LANDSCAPE PLANTINGS, AND IN NO CASE SHOULD ONE SPECIES CONSTITUTE MORE THAN 50 PERCENT OF A PLANTING.

PERIMETER LANDSCAPE REQUIREMENTS - PHASE II

- WEST BUFFER = 20' WIDE TYPE A NATURAL BUFFER
  - WEST BUFFER @ 4 CANOPY TREES PER 100 LF AT 333 LF = 14 TREES
  - WEST BUFFER @ 3 UNDERSTORY TREES PER 100 LF AT 333 LF = 10 TREES
  - WEST BUFFER @ 16 SHRUBS PER 100 LF AT 333 LF = 54 SHRUBS
- NORTH BUFFER @ 4 CANOPY TREES PER 100 LF AT 430 LF = 17 TREES
- NORTH BUFFER @ 3 UNDERSTORY TREES PER 100 LF AT 430 LF = 13 TREES
- NORTH BUFFER @ 16 SHRUBS PER 100 LF AT 430 LF = 69 SHRUBS
- SOUTH BUFFER @ 4 CANOPY TREES PER 100 LF AT 948 LF = 38 TREES
- SOUTH BUFFER @ 4 UNDERSTORY TREES PER 100 LF AT 948 LF = 38 TREES
- SOUTH BUFFER @ 8 SHRUBS PER 100 LF AT 948 LF = 76 SHRUBS

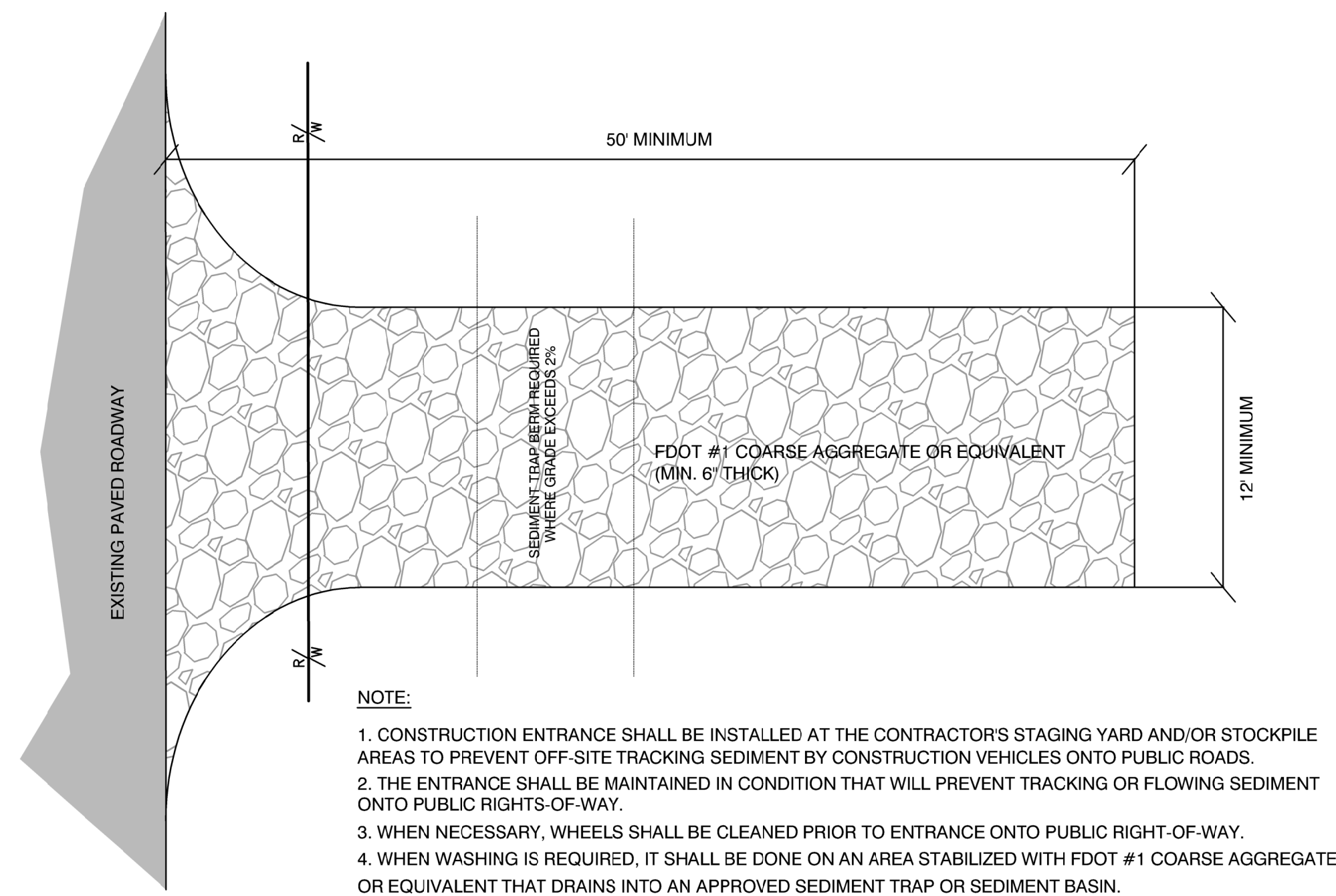
VEHICULAR USE AREA: 25,129 SQ. FT.  
VEHICULAR LANDSCAPING REQUIRED: 25,129 SQ.FT. X 10% = 2,513 SQ. FT.  
VEHICULAR LANDSCAPING PROVIDED: 6,345 SQ. FT.  
BUILDING FOUNDATION LANDSCAPING  
SOUTH SIDE : SHRUB PER 5' @ 149.5' TOTAL = 30 SHRUBS  
STREET TREES REQUIRED 1 PER 25' @ 626' = 25 TREES

PATH OF GRACE, INC.

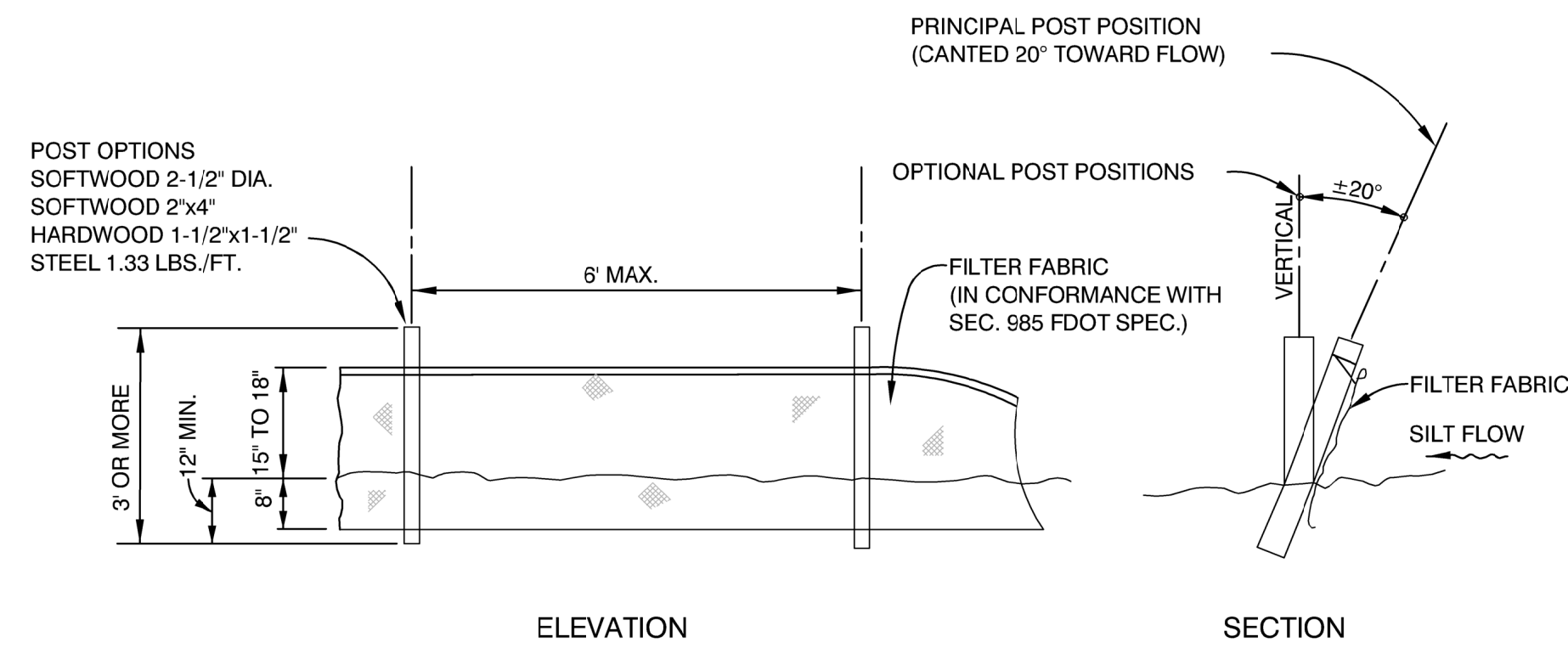
PATH OF GRACE PHASE II  
WALTON COUNTY, FLORIDA  
LANDSCAPE PLAN

23-70  
06/2024  
JSE/JAW  
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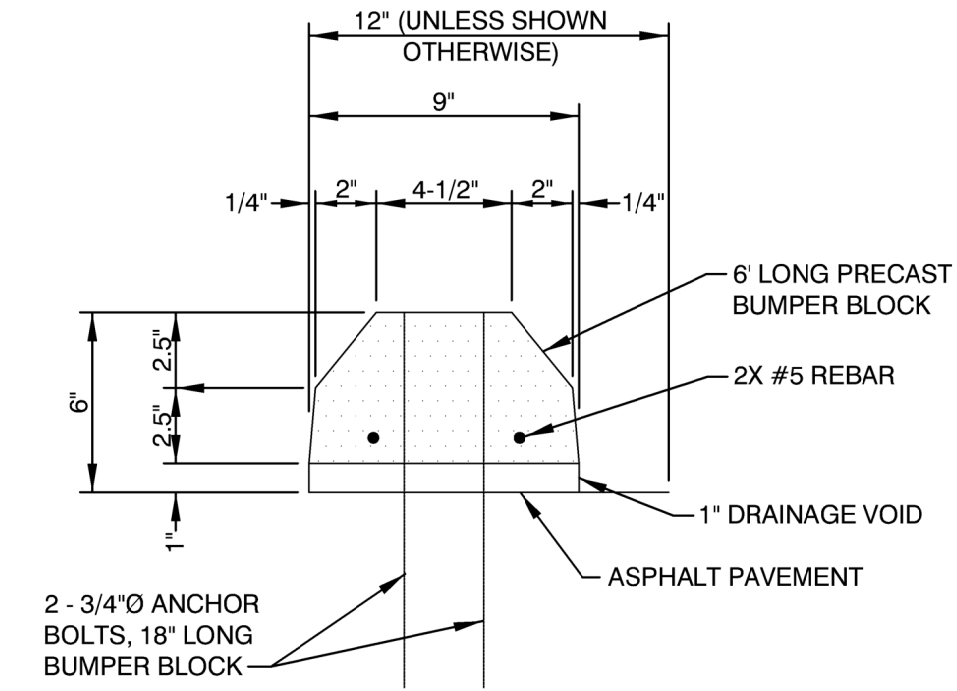




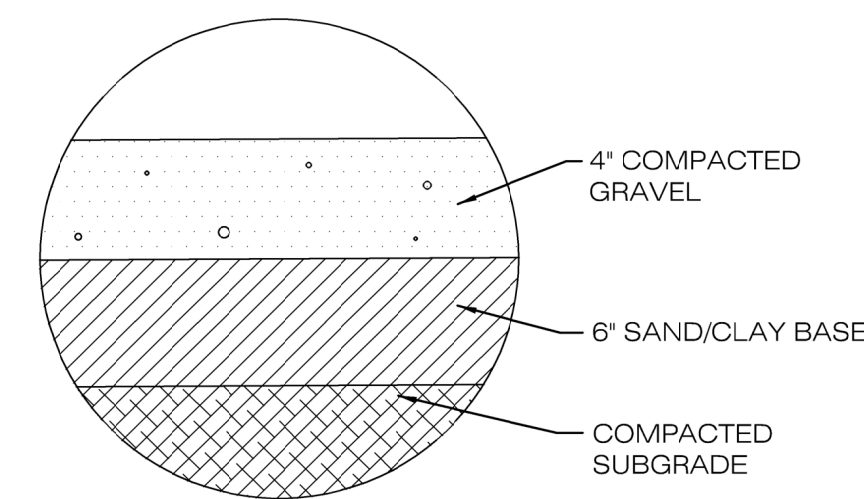
STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.



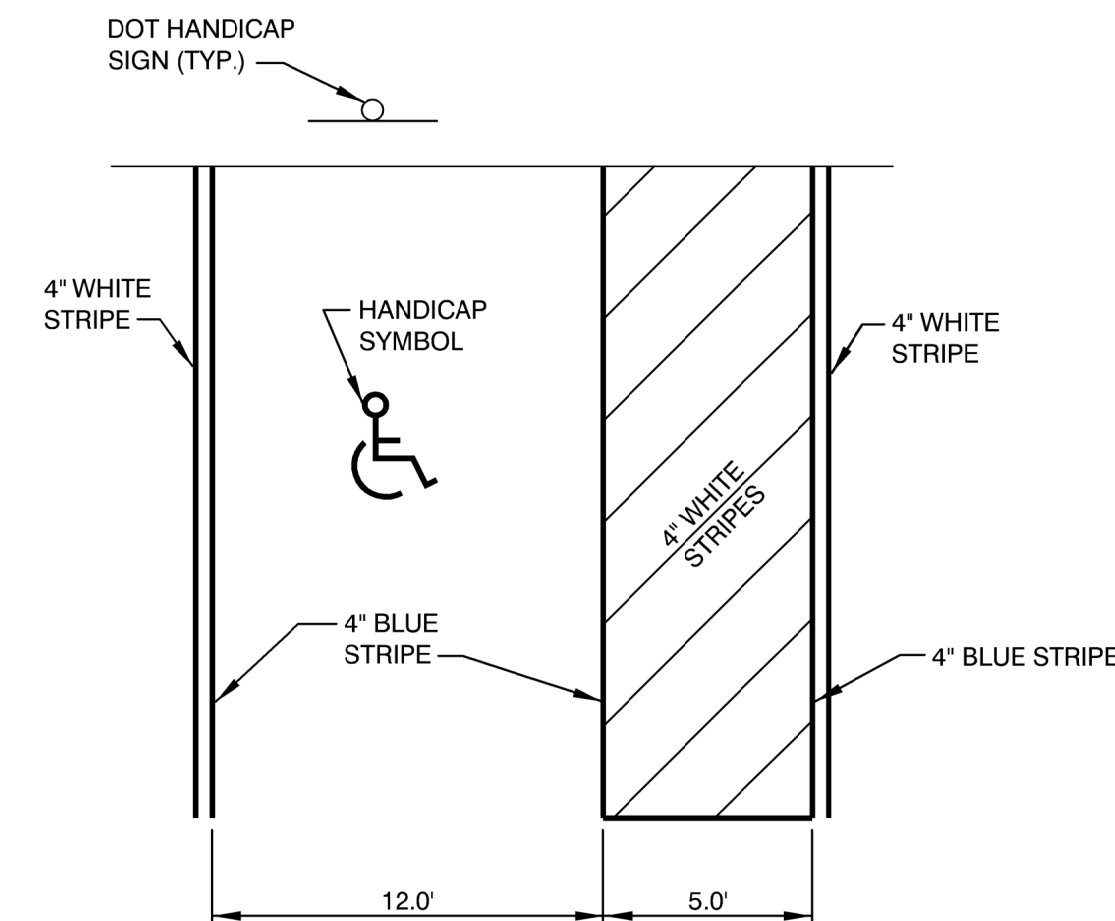
TYPE III SILT FENCE  
N.T.S.



PRECAST CONCRETE WHEEL STOP DETAIL  
N.T.S.

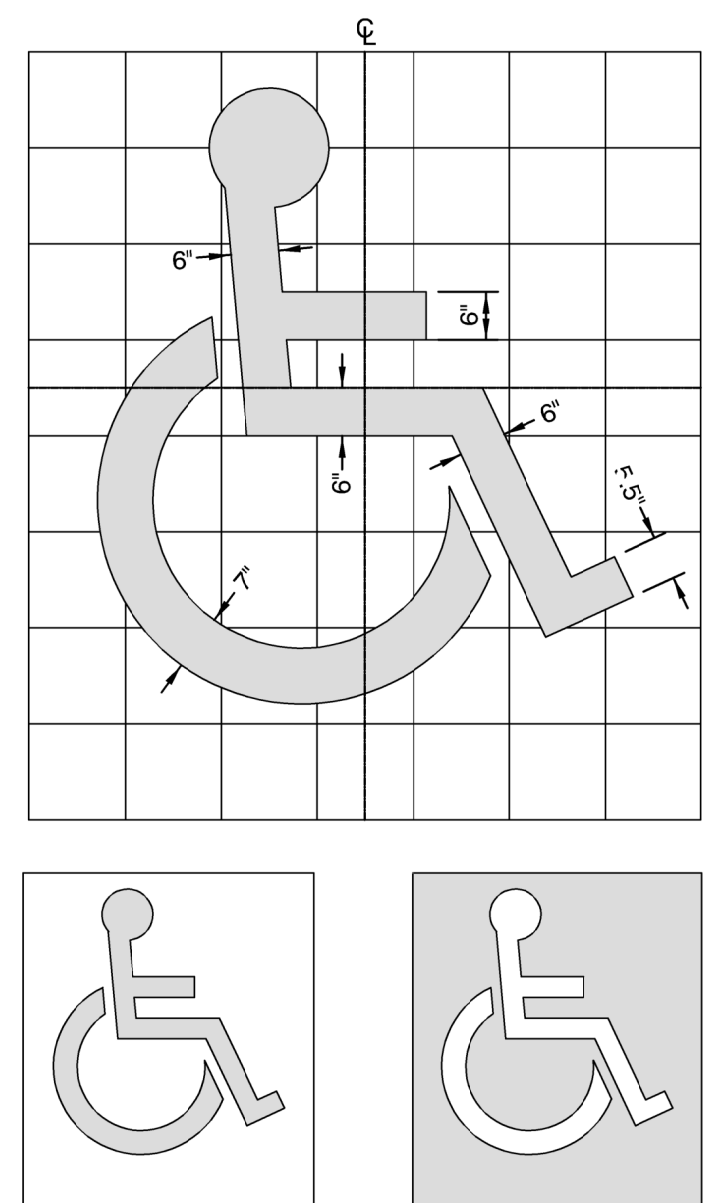


CONSTRUCTION ENTRANCE DETAIL



HANDICAP AREA STRIPING DETAIL  
N.T.S.

**NOTE:**  
HANDICAP PARKING SPACES SHALL BE A MINIMUM OF TWELVE (12) FEET WIDE, MEASURED FROM CENTER TO CENTER OF THE BLUE DEMARCATION LINES.

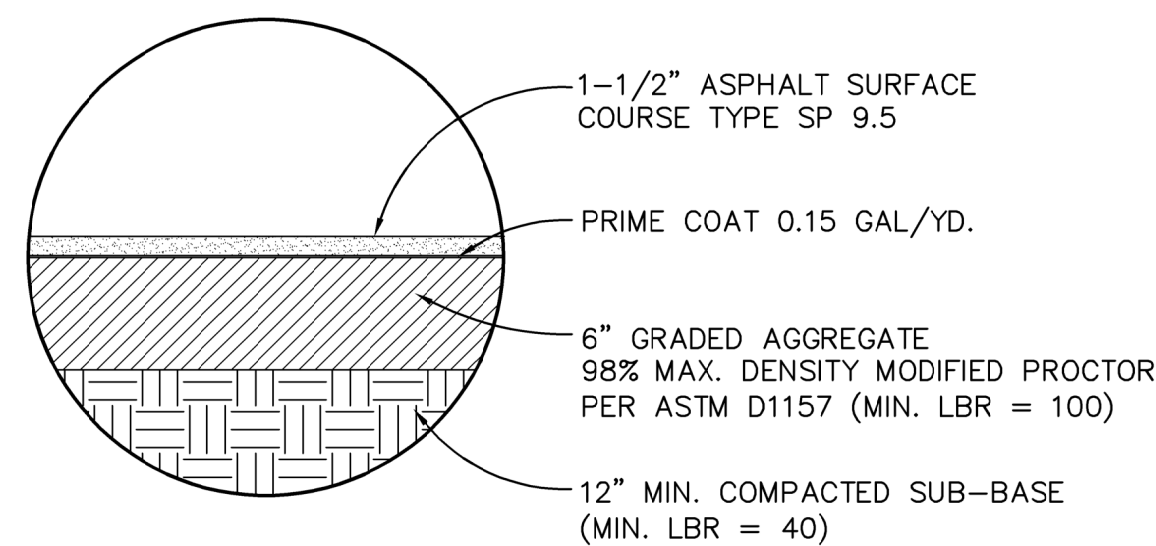


### COLOR CONTRAST

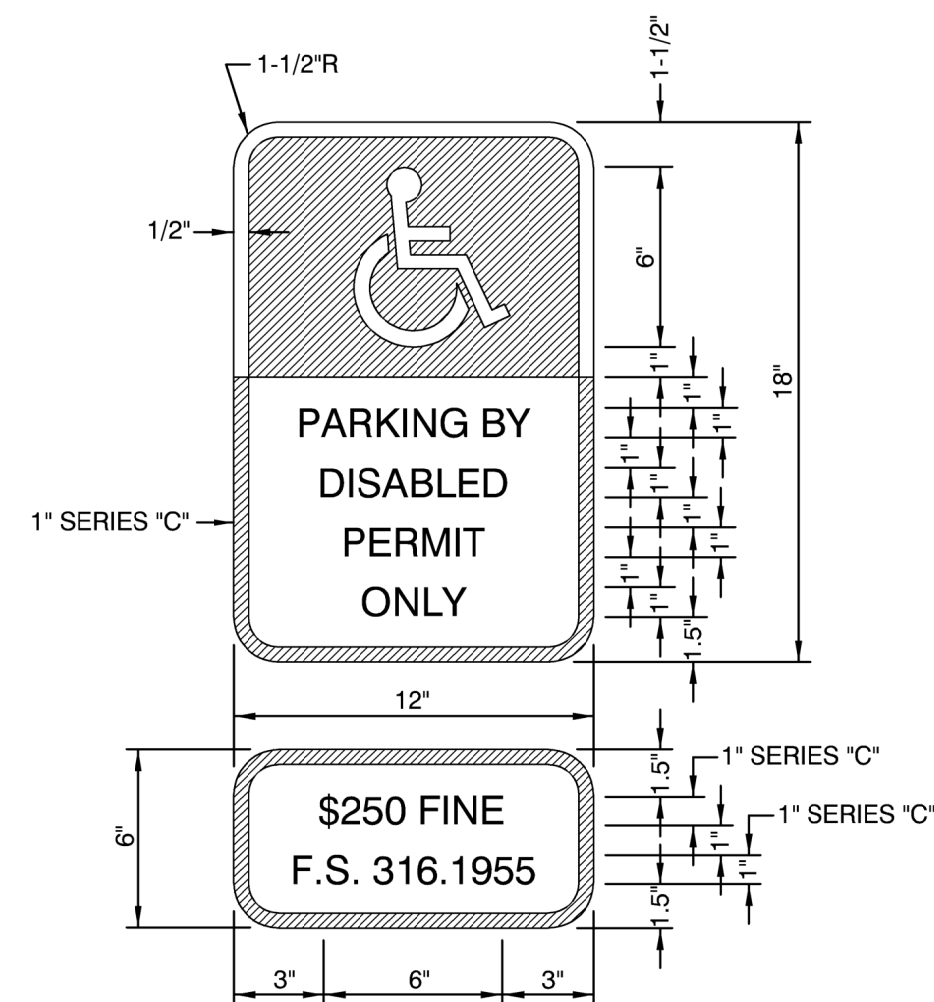
COLOR CONTRAST  
CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUNDS - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

HANDICAP SYMBOL DETAIL  
N.T.S.

**NOTE:**  
SYMBOL SHALL BE PAINTED BLUE  
AND TO THE DIMENSIONS SHOWN.

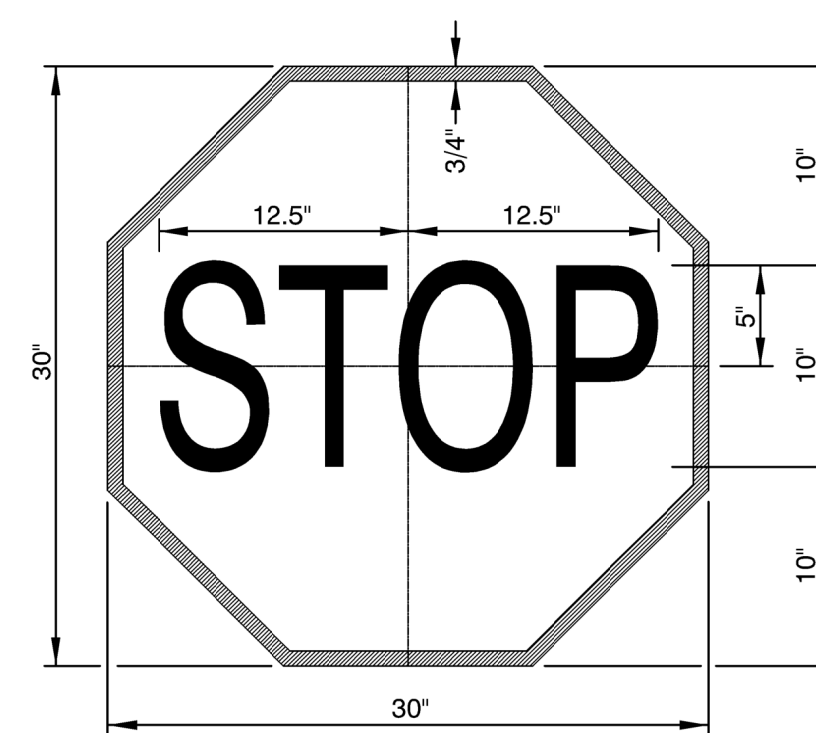


1-1/2" ASPHALT PAVEMENT DETAIL



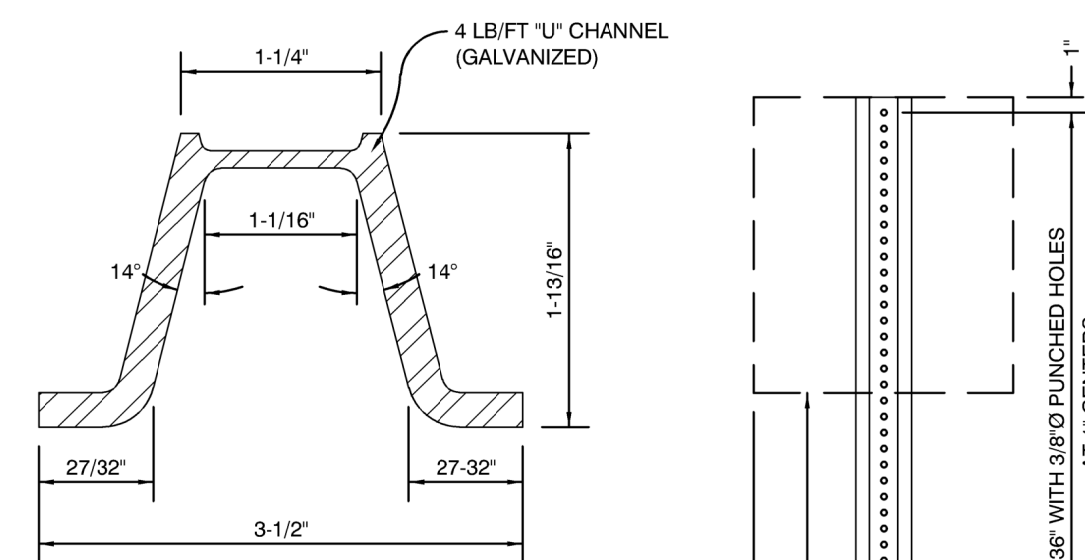
**HANDICAP SIGN DETAIL**  
(F.D.O.T. INDEX No. 17355)  
N.T.S.

THIS PANEL SHALL BE INSTALLED UNDER THE  
FTP-25 OR FTP-26 HANDICAP PARKING SIGN.

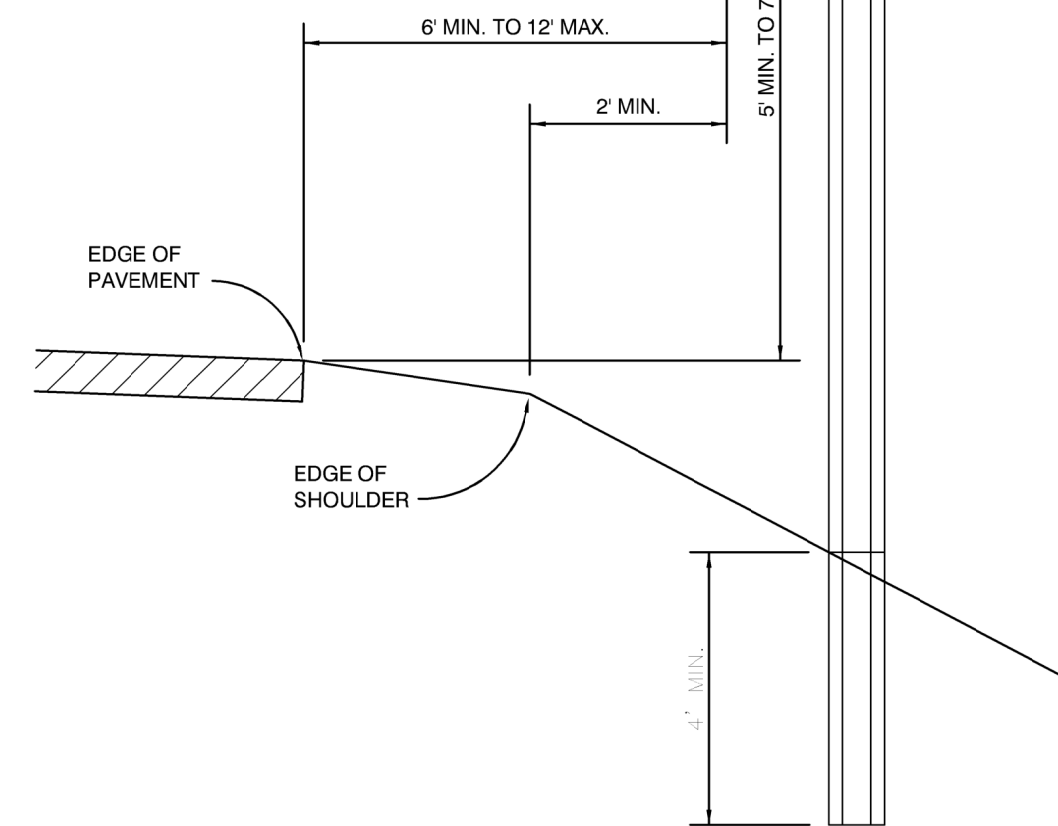


STOP SIGN DETAIL  
N.T.S.

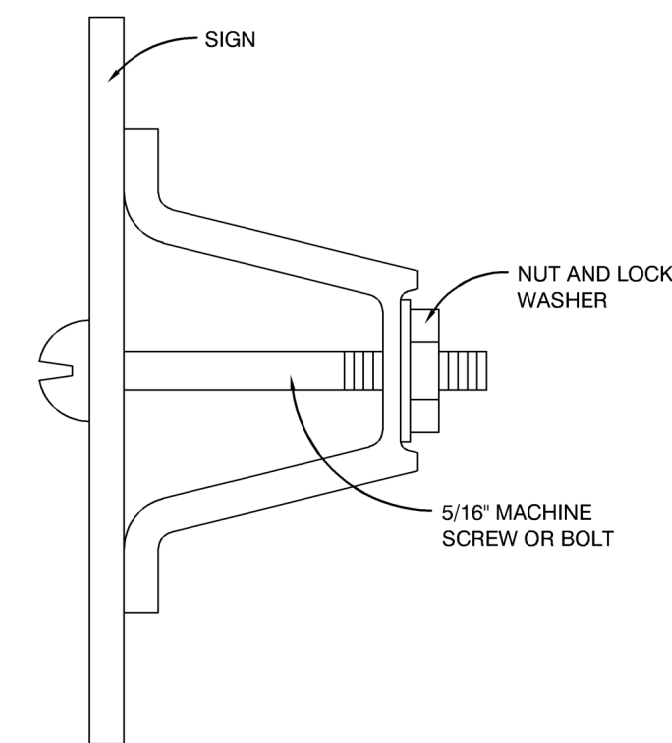
<u>SIGN DESIGNATION:</u>	R1-1 LEGEND,	(REFL.)
<u>RELECTORIZATION:</u>	BORDER	(REFL.)
	BACKGROUND	
<u>SIGN COLORS:</u>	LEGEND, BORDER	(WHITE
	BACKGROUND	(RED)



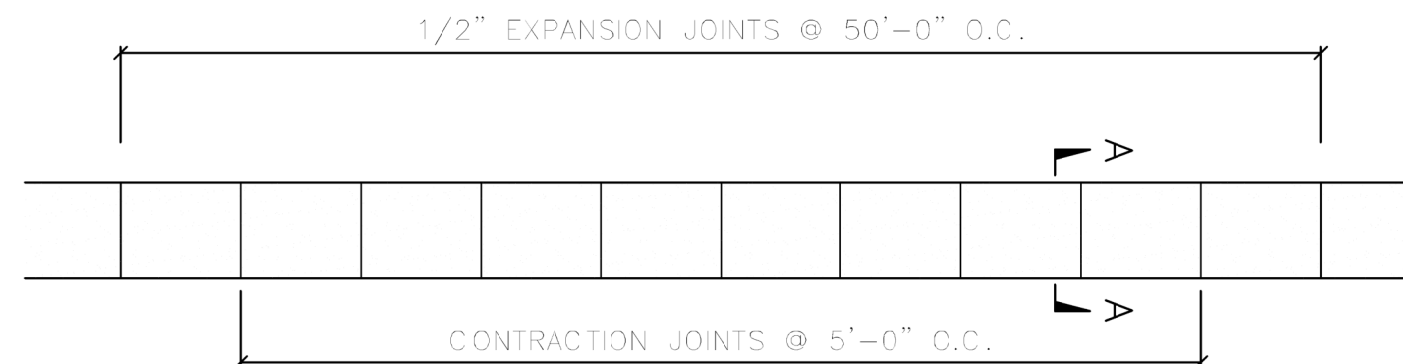
POST SECTION



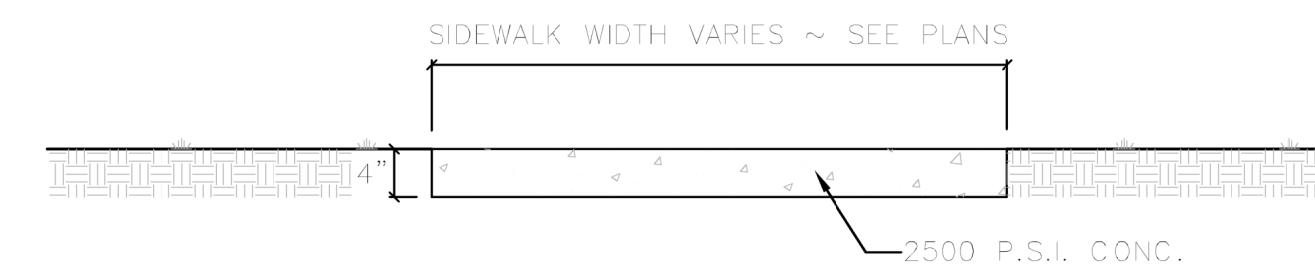
SHOULDER SECTION



### MOUNTING DETAIL



PLAN  
N.T.S.



SECTION A-A  
3/4" = 1'-0"

CONCRETE SIDEWALK DETAIL  
N.T.S.

