ROOM ID	ROOM NAME	FLOORING	BASE	WALL FINISH				CEILING		DELLARKS
				NORTH	SOUTH	EAST	WEST	HEIGHT	FINISH	- REMARKS
18-100	DINING (ADDITION)	VCT	VB	PI	PI	PΙ	PI	15'-6" - 22'-4"	ACT	
18-100	DINING (EXISTING)	VCT	VB	PΙ	PΙ	PΙ	PΙ	15'-6" - 22'-4"	ACT	REPLACE FINISHES BASED ON ACCEPTED ADDITIVE ALTERNATES. CEILING IS BASE BID.
18-102	VESTIBULE	TI	T2	PΙ	PΙ	PΙ	PΙ	9'-4"	GB	
18-103	GIRLS	TI	T2	PΙ	PΙ	PΙ	PΙ	9'-4"	GB	
18-105	VESTIBULE	TI	T2	PΙ	PΙ	PΙ	PΙ	9'-4"	GB	
18-106	BOYS	TI	T2	PΙ	PΙ	PΙ	PΙ	9'-4"	GB	
18-124	MECHANICAL			PI	PI	PΙ	PI			

### FINISH SCHEDULE



ID	OLIANI	WIDTH	LIEICLIT	DOOR			FRAME			LIADDWADE	GLAZING	REMARKS	
	טו	QUAN.	MIDIU	HEIGHT	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HARDWARE	GLAZING	REIVIARRS
	ΑI	5	6'-4"	7'-10"		НМ	P2		HM	P2	I	GI	2 DOORS BASE BID, 3 DOORS ADD ALT, FIELD VERIFY OPENINGS
	В2	2	3'	7'		HM	P3		HM	P2	2		
	C3	ı	5'	7'		НМ	P2		НМ	P2	3		

### DOOR SCHEDULE

### \A000

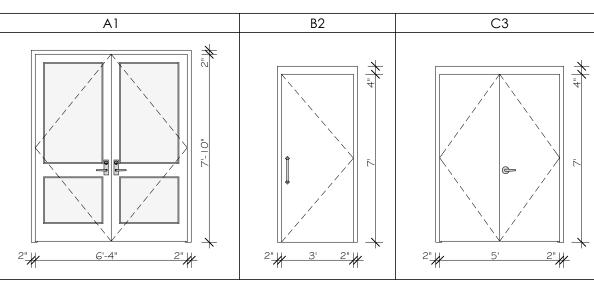
ID	QUAN.	WIDTH	HEIGHT	SILL HT	TYPE	ACCESSORIES	FINISH	GLAZING	REMARKS
WI	1.1	5'-4"	8'	0'-0"	FIXED		P2	GI	
W2	5	5'-4"	5'-4"	2'-8"	FIXED		P2	GI	
W3	7	5'-4"	4'	17'-4"	FIXED		P2	G2	
W4	5	5'-4"	3'-4"	11'-4"	FIXED		P2	G2	

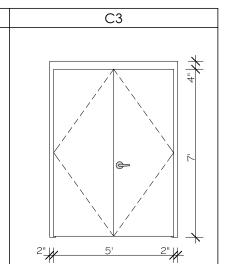
### WINDOW SCHEDULE

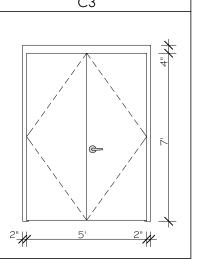
DOOR ELEVATION

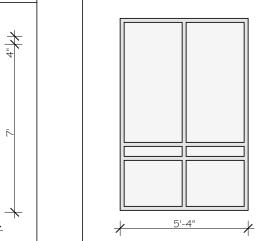
A000 SCALE: 1/4" = 1'-0"

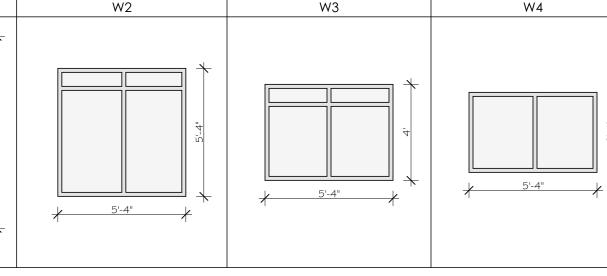




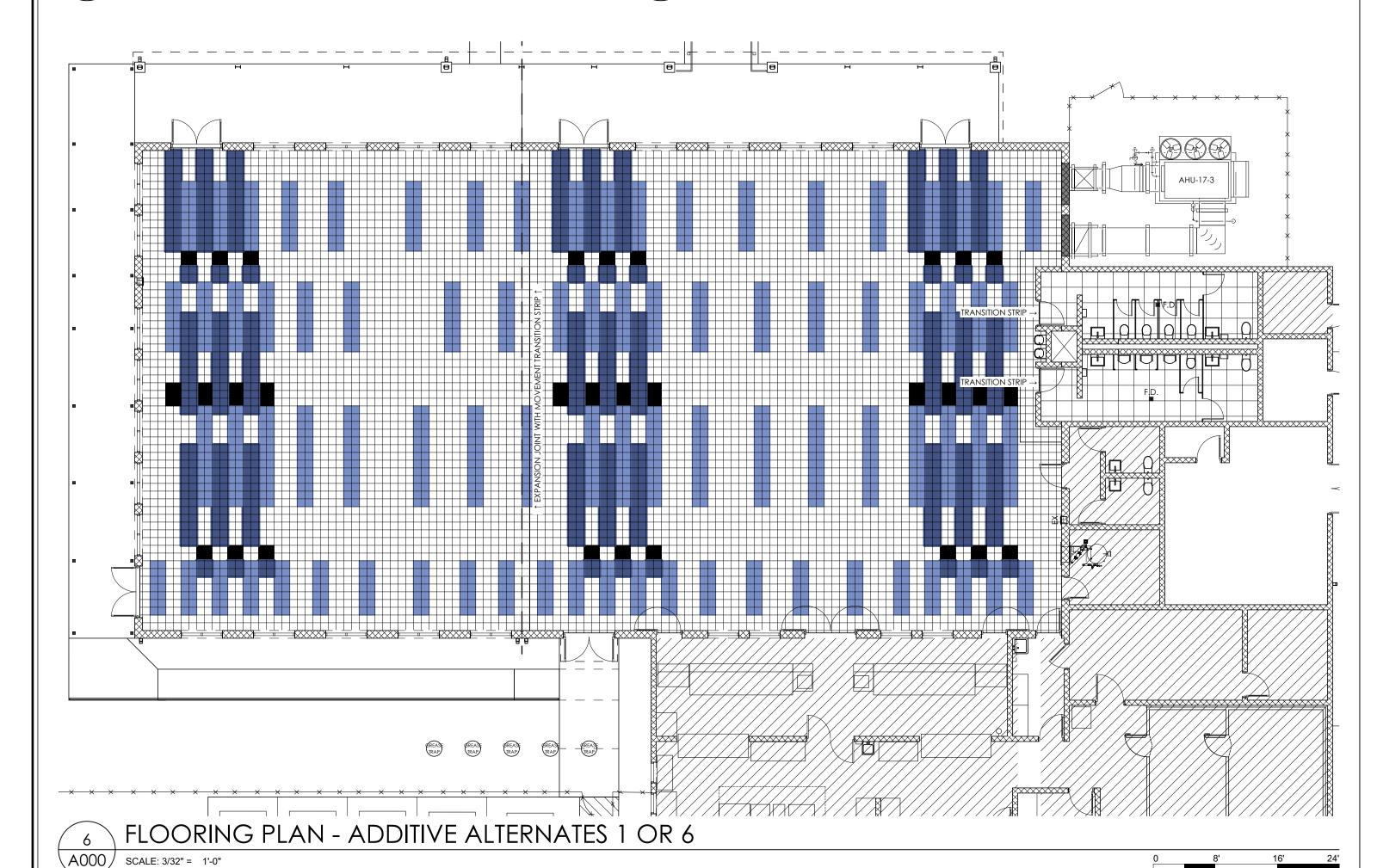








WINDOW ELEVATION



#### FINISH SCHEDULE NOTES

- VCT ARMSTRONG, EXCELON COLORS TO BE DETERMINED BASE BID: EXISTING TO REMAIN; REPLICATE EXISTING FLOORING PATTERN IN ADDITION. ADDITIVE ALTERNATES 1 \$ 6: SEE FLOORING PLAN FOR INSTALLATION PATTERN.
- ADDITIVE ALTERNATE 6 SUBSTITUTE FOR LVT TI - PORCELAIN TILE - CROSSVILLE, COLOR BLOX 2.0, 24X24, COLOR TO BE DETERMINED SCHLUTER RENO-U ALUMINUM TRANSITION STRIP AT DOORS, SEE B2 DOOR DETAILS, COORDINATE WITH DOOR FRAME INSTALLATION, COLOR TO BE SELECTED EPOXY GROUT, CUSTOM CEG-LITE, COLOR TO BE SELECTED ALIGN GROUT JOINTS WITH FLOOR DRAINS, SEE FLOORING PLAN

ACT - ACOUSTICAL CEILING TILE - ARMSTRONG, ULTIMA 1910LEC, 24"x24"x3/4", 0.75 NRC., LAY IN, PRELUDE XL 15/16" GRID GB - GYPSUM BOARD, PAINT PI

- VB VINYL BASE MANNINGTON, BURKE MERCER, 6" TALL, COVE, ROLLS ONLY, COLOR TO
- BE SELECTED T2 - PORCELAIN TILE BASE - CROSSVILLE, COLOR BLOX 2.0, 4X24 BULLNOSE, COLOR TO BE DETERMINED, ALIGN GROUT JOINTS WITH FLOOR PATTERN SCHLUTER FINEC 3.5MM PROFILE, ALUMINUM, AT OUTSIDE CORNERS; CUT BACK 1/8" FROM TOP OF TILE AND GROUT OVER EXPOSED EDGE

HM - HOLLOW METAL, COORDINATE B2 FRAME INSTALLATION WITH TILE FLOORS

PI - INTERIOR WALLS - EPOXY PAINT - SHERWIN WILLIAMS - COLOR TBD

EPOXY GROUT, CUSTOM CEG-LITE, COLOR TO BE SELECTED

- P2 DOORS & FRAMES, STEEL COLUMNS AND BEAMS, RAILINGS BLUE MATCH EXISTING
- P3 DOOR & FRAMES, GRAY MATCH EXISTING P4 - EXTERIOR WALLS - MATCH EXISTING

TOILET PARTITIONS SCRANTON PRODUCTS, HINY HIDERS, FLOOR TO CEILING, CONTINUOUS ALUMINUM BRACKETS AND HINGES, 55" PANELS, SHIPLAP EDGES, HDPE SHOES, BLACK W/GRIP X

#### ACOUSTIC PANELS

2" THICK FIBERGLASS ACOUSTIC PANELS COVERED WITH GUILFORD OF MAINE FR70 | FABRIC, COLOR TO BE SELECTED (OR EQUAL, SUBMIT FOR APPROVAL), FIELD VERIFY EXISTING SIZES

#### HARDWARE SCHEDULE

LEVER HANDLE, ENTRY LOCKSET EXTERIOR, EXIT/PANIC DEVICE INTERIOR, CLOSER W-INTEGRATED DOOR STOP, REMOVEABLE MULLION, 8 HINGES, I 2"H KICKPLATES, THRESHOLD, WEATHER STRIPPING

#### PASSAGE

PULL HANDLE/PUSH PLATE, CLASSROOM DEADBOLT, CLOSER, 3 HINGES, WALL STOP, 12"H KICKPLATES, SILENCERS

LEVER HANDLE, STORAGE LOCKSET, FLUSH BOLTS, 6 HINGES, CLOSER W/INTEGRATED HOLD OPEN ARM, THRESHOLD, WEATHER STRIPPING

NOTE: FIELD VERIFY ALL DOOR AND WINDOW DIMENSIONS PRIOR TO ORDERING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.

# GLAZING NOTES

- GI INSULATED GLASS UNIT, TEMPERED, SOLARBAN 60, GREY, MATCH EXISTING
- G2 INSULATED GLASS UNIT, SOLARBAN 60, GREY, MATCH EXISTING

#### GENERAL NOTES

- THE EXISTING PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ALL CONDITIONS. IF THE CONTRACTOR IS UNABLE TO INTERPRET THE CONTRACT DOCUMENTS, HE IS RESPONSIBLE FOR REQUESTING CLARIFICATION IN WRITING TO THE ARCHITECT. IF THE CONTRACTOR PROCEEDS WITH ANY WORK BEFORE OBTAINING CLARIFICATION, HE SHALL BE HELD RESPONSIBLE FOR ALL DEFICIENCIES ASSOCIATED THERE WITHIN.
- BEFORE SUBMITTING FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CLEAR EXIT WAYS. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADE AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
- 4. CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, AS WELL AS POSTING APPLICABLE SAFETY REGULATIONS. CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS AND BARRICADES FOR PEDESTRIANS AT CONSTRUCTION, VEHICLE ACCESS AND EGRESS LOCATIONS.
- 5. NORMAL OPERATIONS OF THE REMAINING FACILITY SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THE FACILITY.
- 6. ALL PROPOSED INTERRUPTIONS TO OPERATIONS AND EQUIPMENT SHALL BE REVIEWED WITH AND APPROVED BY THE OWNER PRIOR TO STARTING SUCH WORK UNLESS OTHERWISE APPROVED IN WRITING.
- 7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A COMPLETELY DETAILED CONSTRUCTION SCHEDULE AND PLAN PRIOR TO PRE-CONSTRUCTION CONFERENCE.
- 8. CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS. COMPARTMENT TRAILERS OR SIMILAR PROTECTIVE STORAGE FACILITIES MAY BE UTILIZED ON SITE TO SECURE ALL EQUIPMENT AND ITEMS REMOVED DURING PROJECT WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF ALL EQUIPMENT AND ITEMS REMOVED.
- 9. CONTRACTOR MAY UTILIZE AVAILABLE ELECTRICAL POWER AND WATER UTILITIES AT PROJECT JOB SITE.
- IO. DUE TO THE NATURE OF THE FACILITY, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SPECIAL SECURITY MEASURES AT THE JOBSITE. ALL TOOLS, MATERIALS, EQUIPMENT, ETC. SHALL BE SECURED. SECURITY PROCEDURES WILL BE REVIEWED AT THE PRE-CONSTRUCTION CONFERENCE.
- II. ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND
- I 2. INSTALL WORK IN ACCORDANCE WITH THE CODES LISTED ON THE COVER SHEET. WHERE CONFLICTS OCCUR BETWEEN CODES AND BETWEEN THE CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.
- 13. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS TO THE ARCHITECT AT COMPLETION OF THE CONSTRUCTION. CHANGES SHALL BE INDICATED CLEARLY BY MECHANICAL DRAFTING METHODS.
- 14. CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISES AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY.
- 15. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RETURNING DAMAGED AREAS (MATERIALS, FINISHES, LANDSCAPE, ETC.) TO THEIR ORIGINAL CONDITION. ALL DISTURBED AREAS OF SOIL TO BE SODDED. ALL PLANTING REPLACEMENT TO BE GUARANTEED FOR ONE YEAR.
- I G. CONTRACTOR SHALL ERECT ALL SAFEGUARDS TO PROTECT AREAS ADJACENT TO BUILDING SITES. INSTALL SILT FENCING AS REQUIRED TO CONTAIN CONSTRUCTION RUNOFF. REMOVE DEBRIS FROM JOB SITE DAILY AND ADHERE TO ENVIRONMENTAL REGULATIONS.

#### CONSULTANTS

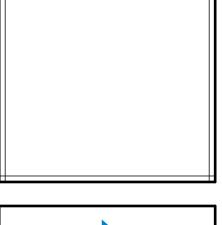
CLIFFORD LAMB & ASSOCIATES 20 | PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A TALLAHASSEE, FL 32308

(850) 727-5367

(850) 224-7922

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE TALLAHASSEE, FL 32303





**BUILDING ENVELOPE** 211 JOHN KNOX RD, SUITE 105 TALLAHASSEE, FL 32303 PH: (850) 385 9200

MLDARCHITECTS.COM

PHASE III 100% SUBMITTAL

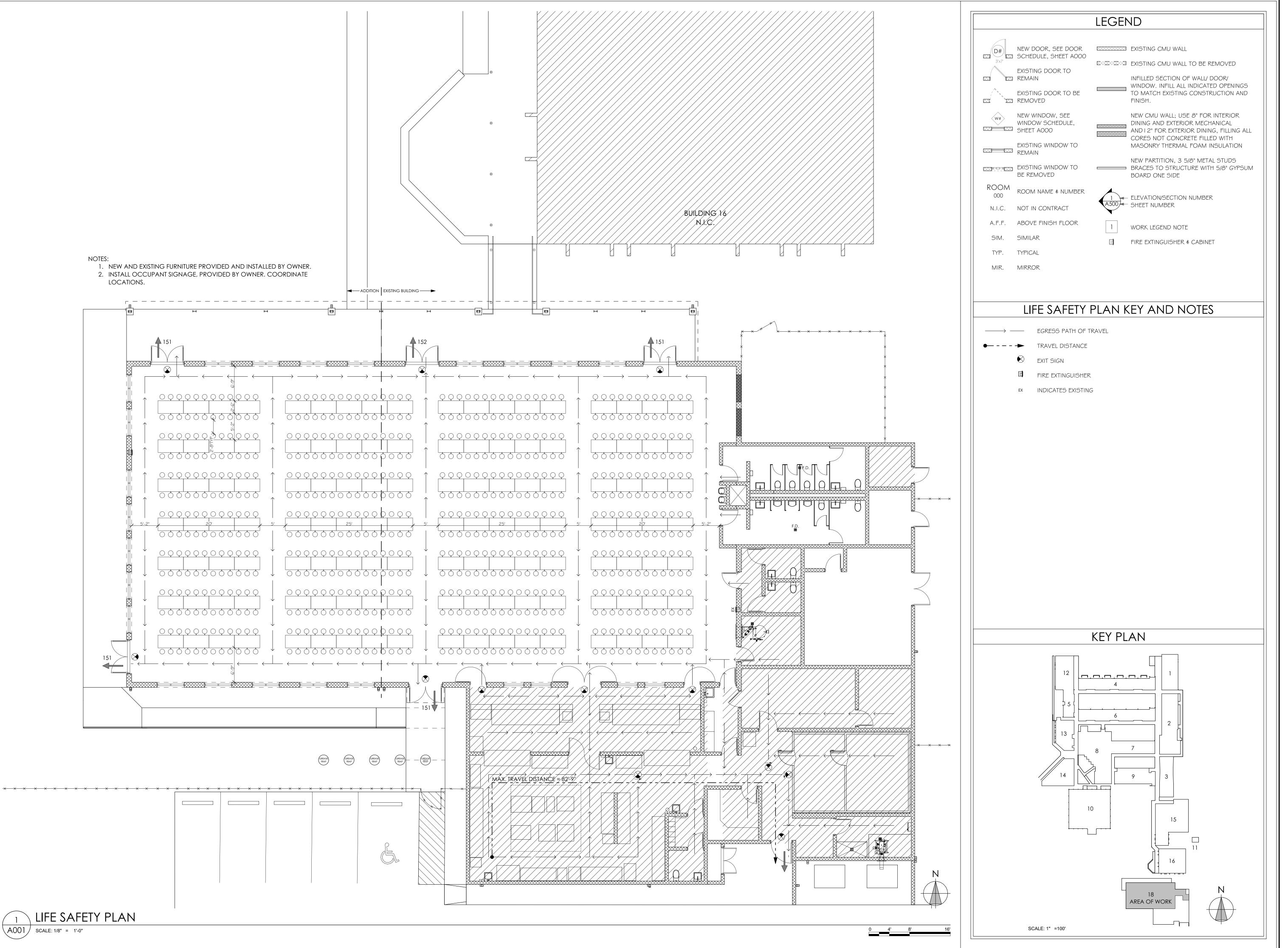
PROJ. NO. 174324 04/02/2025 DRAWN

CHECKED APPROVED JS

REVISION REVISION DATE

NOTES

**SCHEDULES &** 



CONSULTANTS

CIVIL
CLIFFORD LAMB \$ ASSOCIATES
20 | PINEWOOD DRIVE
TALLAHASSEE, FL 32303

(850) 385-2800

(850) 727-5367

STRUCTURAL
KEVER MCKEE ENGINEERING
1624 METROPOLITAN BLVD # A
TALLAHASSEE, FL 32308

MECHANICAL / ELECTRICAL /
PLUMBING
H2ENGINEERING, INC.
114 E 5TH AVENUE

TALLAHASSEE, FL 32303

(850) 224-7922



TALLAHASSEE, FL 32303 PH: (850) 385 9200 AR96289 MLDARCHITECTS.COM

ROJECT

LAT AINSIQIN T N.C.

ATY SCHOOL BOARD

I

PHASE III

PROJ. NO. 174324

DATE 04/02/2025

DRAWN TR, RB

CHECKED IH

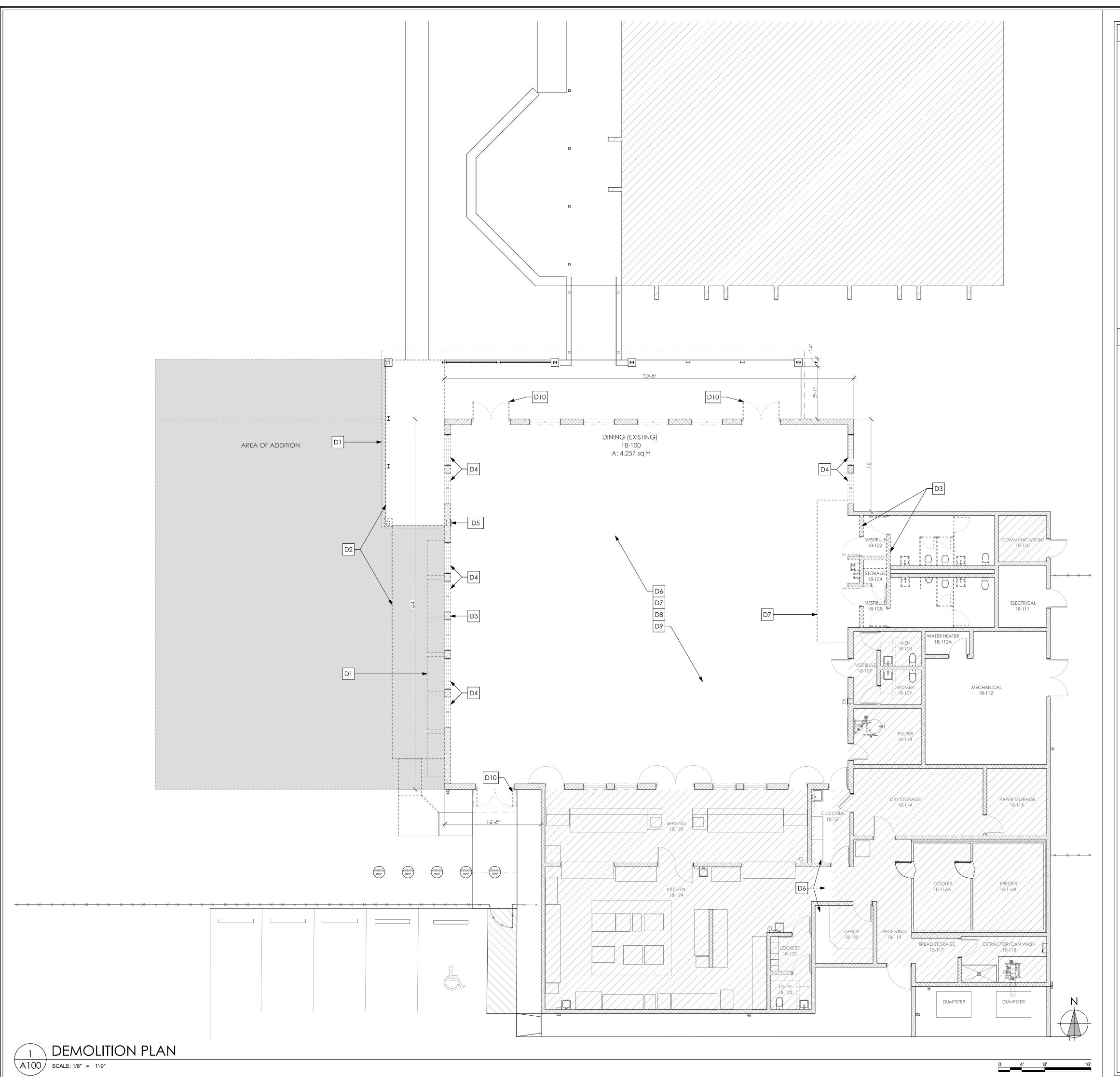
APPROVED JS

REVISION

REVISION DATE \_\_\_\_

LIFE SAFETY PLAN

A001



SCHEDULE, SHEET AOOO

EXISTING DOOR TO BE

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

BE REMOVED

A.F.F. ABOVE FINISH FLOOR

REMAIN

REMOVED

SHEET A000

REMAIN

EXISTING DOOR TO

NEW DOOR, SEE DOOR EXISTING CMU WALL

EXECUTION EXISTING CMU WALL TO BE REMOVED

WINDOW. INFILL ALL INDICATED OPENINGS

TO MATCH EXISTING CONSTRUCTION AND NEW CMU WALL; USE 8" FOR INTERIOR

INFILLED SECTION OF WALL/ DOOR/

DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS EXISTING WINDOW TO BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

ROOM NAME \$ NUMBER N.I.C. NOT IN CONTRACT

ELEVATION/SECTION NUMBER A500 SHEET NUMBER

1 WORK LEGEND NOTE

FIRE EXTINGUISHER & CABINET

TYP. TYPICAL

SIM. SIMILAR

MIR. MIRROR

## DEMOLITION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK, WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CONTRACTOR SHALL FIELD VERIFY ALL THE ITEMS TO BE REMOVED INDICATED ON THE PLANS (BUT ARE NOT LIMITED TO) WITHIN THIS SCOPE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RENOVATION AS REQUIRED FOR NEW WORK. TAKE CARE NOT TO DAMAGE ADJACENT SURFACE TO REMAIN.

ALL REMOVED ITEMS, EQUIPMENT, FURNISHINGS, DOORS, AND FIXTURES SHALL BE TURNED IN TO OWNER AND DELIVERED TO LOCATION DESIGNATED BY OWNER FOR REUSE, OR AT OWNER'S DIRECTION, FOR DISPOSAL BY THE CONTRACTOR. ENSURE ALL PIPING, BACK BOXES, ETC. ARE SECURELY STRAPPED AND PROPERLY MARKED FOR CONTINUED SERVICE. PROTECT ALL EXISTING SYSTEMS - INTERCOM, FIRE ALARM, HVAC, ETC.

REMOVE ALL ITEMS INDICATED WITH SHORT DASHED LINES INCLUDING DOORS, WALLS, EQUIPMENT, MILLWORK, PLUMBING FIXTURES, ETC. COORDINATE WITH ENGINEER'S DRAWINGS.

DI REMOVE EXISTING PORTION OF ROOF AND/OR CANOPY/AWNING. SEE STRUCTURAL.

D2 REMOVE EXISTING SIDEWALK AS INDICATED BY DASHED LINE. COORDINATE WITH CIVIL.

D3 WALL/PORTION OF EXISTING WALL TO BE REMOVED. COORDINATE WITH STRUCTURAL.

D4 REMOVE EXISTING WINDOWS. COORDINATE WITH MECHANICAL.

D5 REMOVE EXISTING FIRE EXTINGUISHER AND CABINET. SALVAGE FOR REINSTALLATION.

D6 REMOVE EXISTING CEILING IN DINING AND PORTION OF CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL SPACE BETWEEN THE TWO ROOMS AS NEEDED. COORDINATE WITH FS, M AND E SHEETS.

D7 BASE BID: REMOVE PORTION OF FLOORING WHERE NEW VESTIBULES WILL BE BUILT; SEE RENOVATION PLAN. ADDITIVE ALTERNATE I: REMOVE EXISTING FLOORING AND WALL BASE IN CAFETERIA.

PREP FOR NEW FLOORING AS INDICATED ON FINISH SCHEDULE. D8 BASE BID: REMOVE EXISTING ACOUSTIC PANELS FROM WALLS AND STORE FOR REINSTALLATION.

D9 ADDITIVE ALTERNATE 4: REMOVE EXISTING CAFETERIA LIGHT FIXTURES. COORDINATE WITH E SHEETS.

ADDITIVE ALTERNATE 2: REMOVE AND DISPOSE OF EXISTING ACOUSTIC PANELS.

D10 ADDITIVE ALTERNATE 5: REMOVE EXISTING DOORS, FRAMES AND HARDWARE.

#### CONSULTANTS

CLIFFORD LAMB \$ ASSOCIATES 201 PINEWOOD DRIVE TALLAHASSEE, FL 32303

(850) 385-2800

(850) 727-5367

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A

TALLAHASSEE, FL 32308

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE

TALLAHASSEE, FL 32303

(850) 224-7922





AR96289 MLDARCHITECTS.COM

Ž

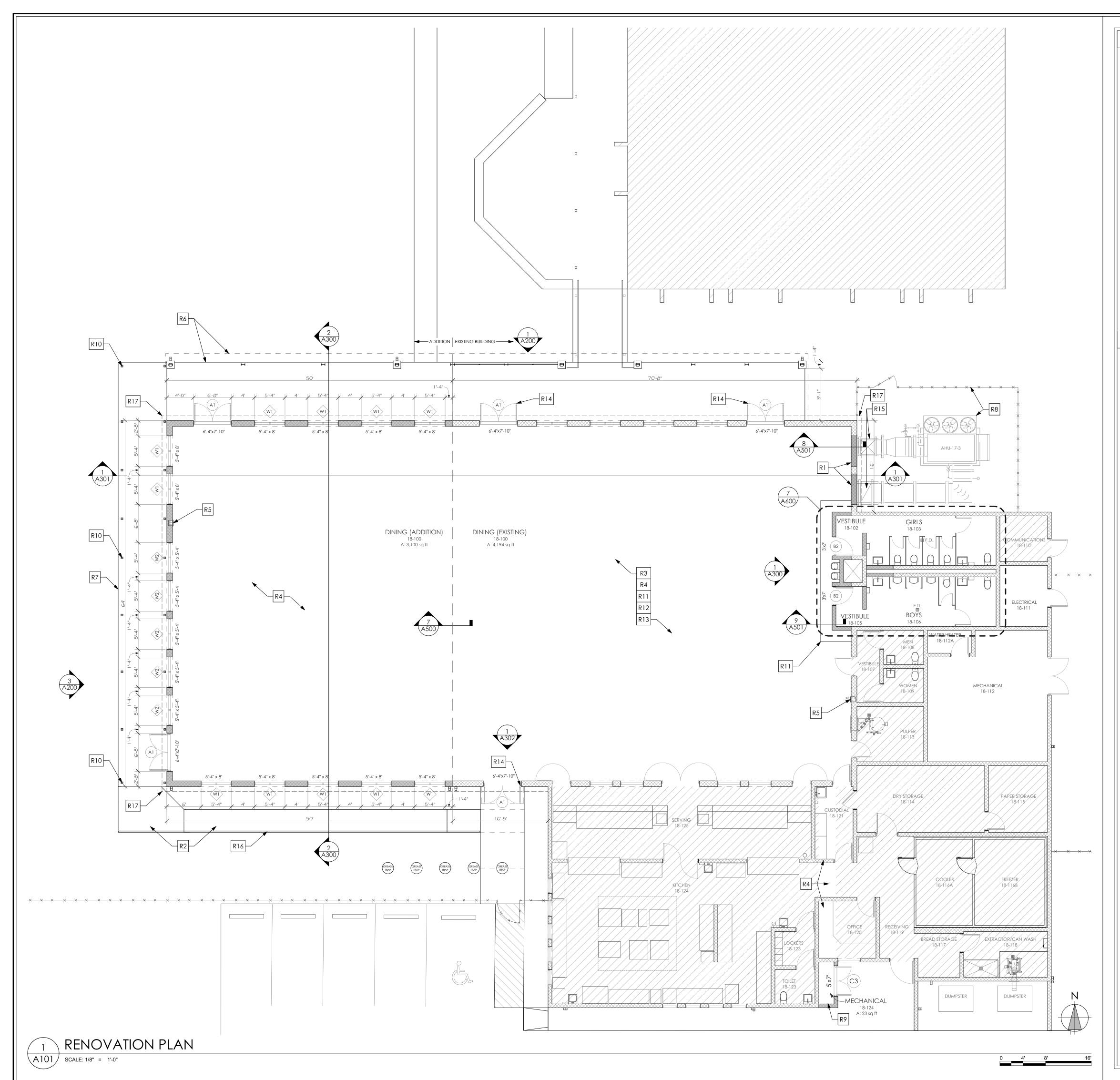
PHASE III 100% SUBMITTAL

PROJ. NO. 174324 04/02/2025 DRAWN CHECKED

APPROVED JS REVISION

REVISION DATE

DEMOLITION PLAN



NEW DOOR, SEE DOOR SCHEDULE, SHEET A000

EXISTING DOOR TO BE

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

BE REMOVED

A.F.F. ABOVE FINISH FLOOR

REMAIN

REMOVED

SHEET AOOO

REMAIN

EXISTING DOOR TO

EXISTING CMU WALL

EXECUTED EXISTING CMU WALL TO BE REMOVED

WINDOW. INFILL ALL INDICATED OPENINGS

WORK LEGEND NOTE

TO MATCH EXISTING CONSTRUCTION AND

INFILLED SECTION OF WALL/ DOOR/

NEW CMU WALL; USE 8" FOR INTERIOR DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS EXISTING WINDOW TO BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

> ROOM NAME \$ NUMBER ELEVATION/SECTION NUMBER

A500 SHEET NUMBER N.I.C. NOT IN CONTRACT

SIM. SIMILAR FIRE EXTINGUISHER & CABINET

TYP. TYPICAL MIR. MIRROR

#### RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

| R6 | EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

R7 NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE

R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

#### CONSULTANTS

CLIFFORD LAMB & ASSOCIATES 201 PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A

TALLAHASSEE, FL 32308

TALLAHASSEE, FL 32303

(850) 224-7922

(850) 727-5367

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE



MLDARCHITECTS.COM

PH: (850) 385 9200

PHASE III 100% SUBMITTAL

PROJ. NO. 174324 04/02/2025 DRAWN

CHECKED APPROVED JS

REVISION REVISION DATE

RENOVATION PLAN

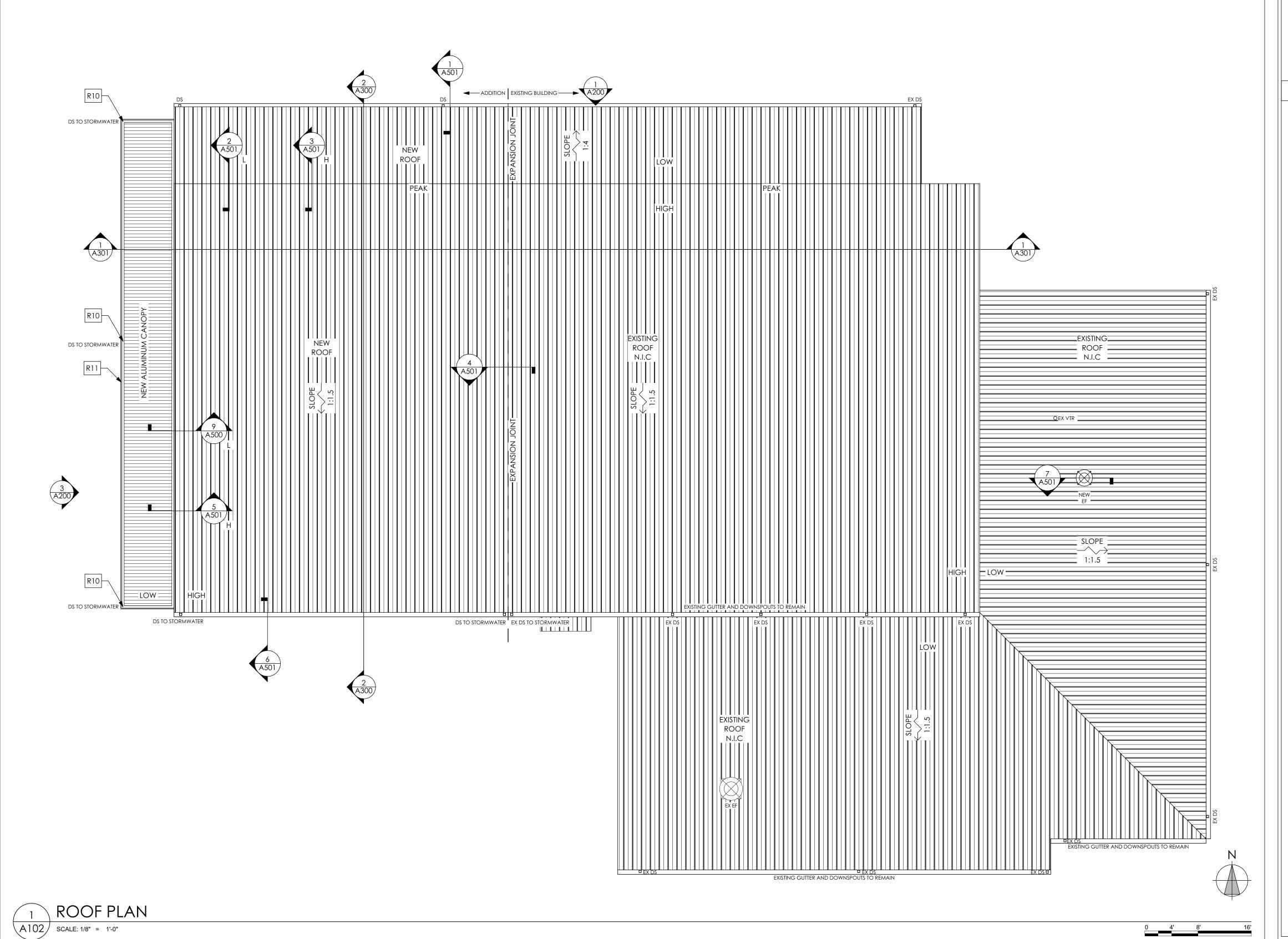
#### **ROOF LEGEND** SLOPE DIRECTION EXHAUST FAN <u>√A500</u> SHEET # STANDING SEAM METAL ROOF, LOW/HIGH MATCH EXISTING PANELS WORK LEGEND NOTE EXISTING N.I.C. NOT IN CONTRACT ALUMINUM CANOPY D.S. GUTTER # DOWN SPOUT

## **ROOF NOTES**

- . CAREFULLY REMOVE THE EXISTING RAKE EDGE METAL FASCIA AND TRIM FROM THE WEST EDGE OF THE EXISTING UPPER AND LOWER STANDING SEAM METAL ROOFING SYSTEM. APPLY A TEMPORARY WATERPROOFING MEMBRANE TO PREVENT WATER INTRUSION UNTIL THE NEW STRUCTURAL DECKING IS INSTALLED.
- 2. AFTER NEW STRUCTURAL ROOF DECK INSTALLATION AND VERIFICATION ON THE ADDITION, FASTEN PERIMETER PRESSURE TREATED WOOD NAILERS, FULLY ADHERE OR SCREW FASTEN + 3" ISOCYANURATE FOAM INSULATION BOARD TO THE DECK AND INSTALL A HIGH TEMPERATURE WATERPROOFING MEMBRANE PER ROOFING MANUFACTURER'S RECOMMENDATION.
- 3. INSTALL NEW PREFINISHED ALUMINIZED STEEL 2" STANDING SEAM METAL ROOFING SYSTEM WITH 'BREAD PAN' ENDS AT PANEL HEAD AND WITH CONCEALED ANCHOR CLIPS. NEW PANELS MATCH THE EXISTING ADJACENT ROOFING SYSTEM IN PANEL PROFILE AND COLOR (TO BE APPROVED BY OWNER AND ARCHITECT).

#### ROOF NOTES CONT.

- 4. INSTALL NEW PREFINISHED ALUMINIZED STEEL RAKE FLASHING, EAVE TRIM, HEAD FLASHING, COUNTERFLASHING, PEAK FLASHING AND ACCESSORIES, AS DETAILED. INSTALL NEW PREFINISHED ALUMINUM EAVE HUNG GUTTER AND DOWNSPOUTS, WHERE INDICATED ON THE ROOF PLAN. ENSURE GUTTERS ARE PROPERLY SLOPED TO PREVENT STANDING WATER. ANCHOR DOWNSPOUTS TO THE STRUCTURE AT THE TOP, MIDDLE AND BOTTOM. PLACE SPLASH BLOCKS AT OUTFALL ON GRADE.
- 5. METAL ROOFING MANUFACTURER TO PROVIDE SPECIFIED 20 YEAR WEATHERTIGHT AND 30 YEAR FINISH WARRANTY TO INCLUDE ROOF PANELS AND TRIM.
- 6. INSTALL NEW PREFABRICATED ALUMINUM CANOPY WITH INTERNAL DRAINAGE SYSTEM OVER THE NEW SIDEWALK, AS DETAILED. VERIFY LOCATION AND ENSURE DOWNLEADERS DRAINS ARE CONNECTED AND FLOW INTO THE UNDERGROUND STORMWATER SYSTEM.



## LEGEND

NEW DOOR, SEE DOOR EXISTING CMU WALL SCHEDULE, SHEET A000 EXISTING DOOR TO REMAIN

REMOVED

SHEET AOOO

REMAIN

SIM. SIMILAR

TYP. TYPICAL

MIR. MIRROR

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

BE REMOVED

A.F.F. ABOVE FINISH FLOOR

EXISTING DOOR TO BE

EXECUTION EXISTING CMU WALL TO BE REMOVED

INFILLED SECTION OF WALL/ DOOR/ WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND

NEW CMU WALL; USE 8" FOR INTERIOR DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS EXISTING WINDOW TO BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

ROOM NAME \$ NUMBER ELEVATION/SECTION NUMBER A500 SHEET NUMBER N.I.C. NOT IN CONTRACT

WORK LEGEND NOTE

FIRE EXTINGUISHER & CABINET

## RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 | INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

M SHEETS AT DUCT LOCATIONS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

R7 NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. MATCH EXISTING. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE A000.

R12 | ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

## CONSULTANTS

CLIFFORD LAMB & ASSOCIATES 20 | PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A TALLAHASSEE, FL 32308

(850) 727-5367

(850) 224-7922

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE TALLAHASSEE, FL 32303





MLDARCHITECTS.COM

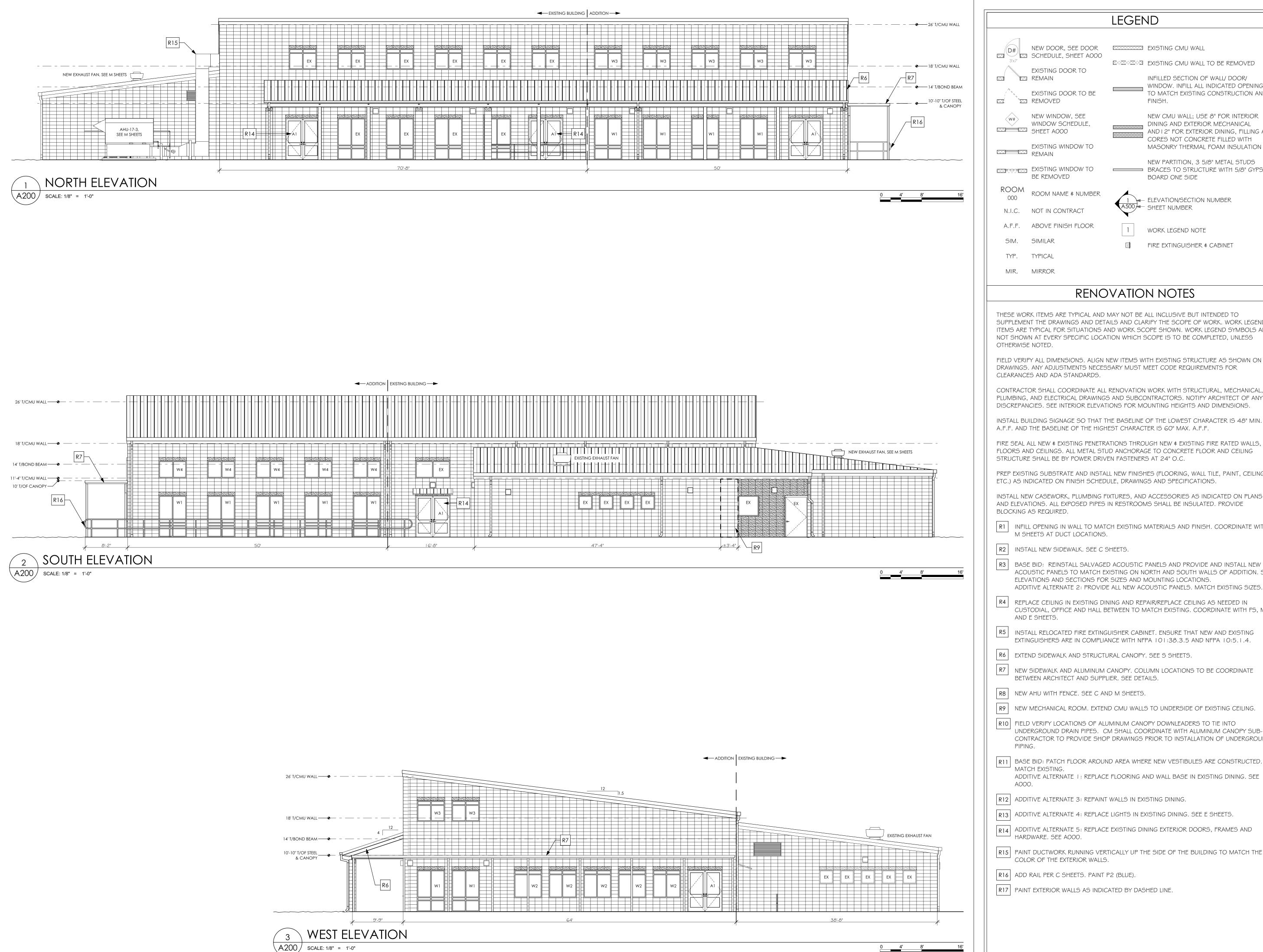
PHASE III 100% SUBMITTAL

PROJ. NO. 174324 DATE 04/02/2025 DRAWN CHECKED

APPROVED JS REVISION

REVISION DATE

**ROOF PLAN** 



EXISTING CMU WALL

NEW DOOR, SEE DOOR SCHEDULE, SHEET A000

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

BE REMOVED

EXISTING CMU WALL TO BE REMOVED INFILLED SECTION OF WALL/ DOOR/

WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND

NEW CMU WALL; USE 8" FOR INTERIOR DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

ROOM NAME \$ NUMBER ELEVATION/SECTION NUMBER A500 SHEET NUMBER

WORK LEGEND NOTE

FIRE EXTINGUISHER & CABINET

TYP. TYPICAL MIR. MIRROR

### RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

R5 INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

R7 NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

R9 NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. MATCH EXISTING. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE

R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

### CONSULTANTS

CLIFFORD LAMB & ASSOCIATES 201 PINEWOOD DRIVE TALLAHASSEE, FL 32303

(850) 385-2800 STRUCTURAL KEVER MCKEE ENGINEERING I 624 METROPOLITAN BLVD # A

TALLAHASSEE, FL 32308 (850) 727-5367 MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC

114 E 5TH AVENUE TALLAHASSEE, FL 32303

(850) 224-7922



AR96289

MLDARCHITECTS.COM

SSEE,

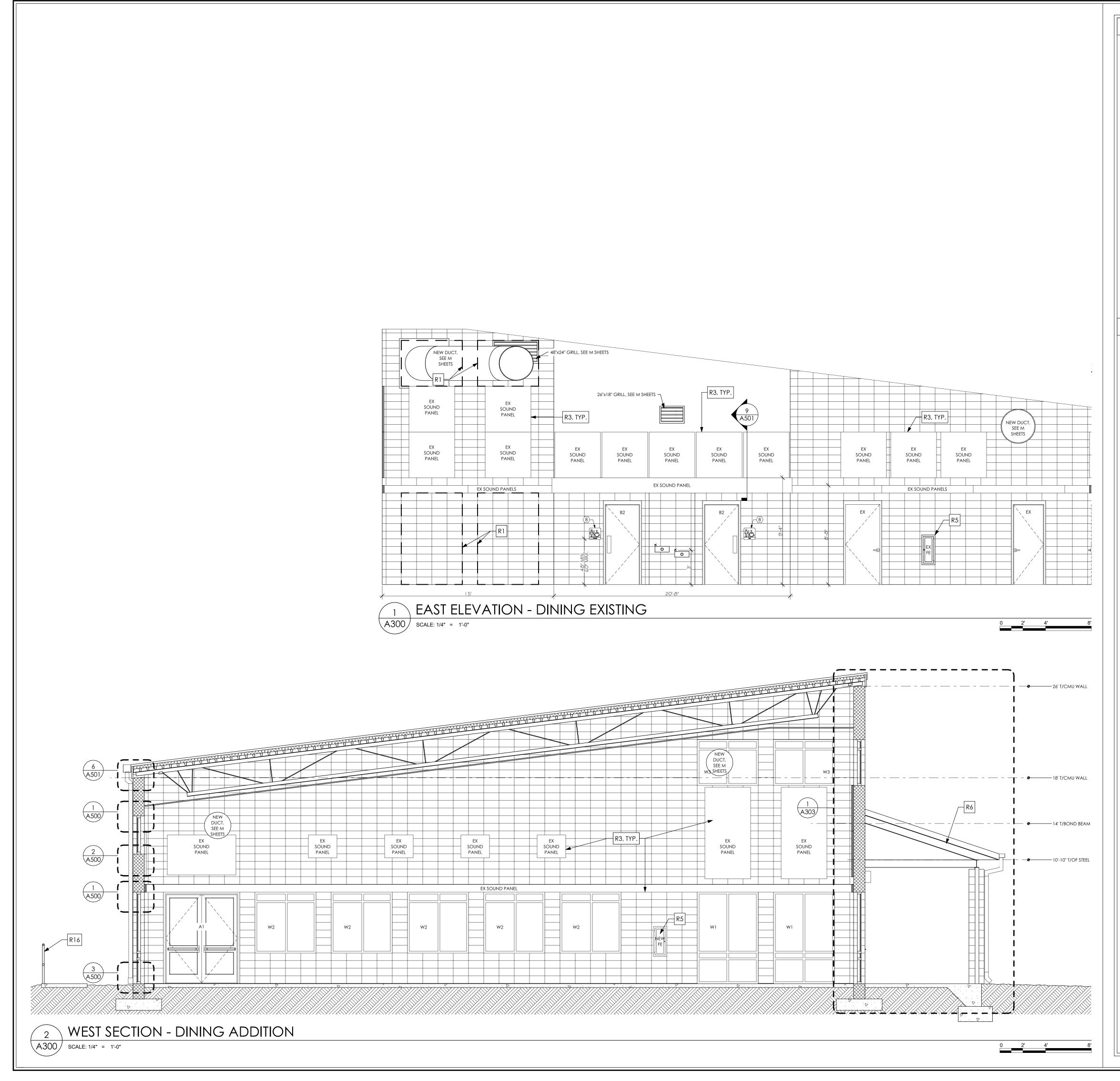
PHASE III

100% SUBMITTAL PROJ. NO. 174324 DATE 04/02/2025 DRAWN

CHECKED APPROVED JS REVISION

REVISION DATE

**EXTERIOR** 



NEW DOOR, SEE DOOR SCHEDULE, SHEET AOOO

REMOVED

SHEET AOOO

REMAIN

MIR. MIRROR

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

BE REMOVED

EXECUTION EXISTING CMU WALL TO BE REMOVED

EXISTING CMU WALL

INFILLED SECTION OF WALL/ DOOR/ WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND

NEW CMU WALL; USE 8" FOR INTERIOR DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS EXISTING WINDOW TO BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

ROOM NAME \$ NUMBER 1 \ ELEVATION/SECTION NUMBER A500 SHEET NUMBER N.I.C. NOT IN CONTRACT

A.F.F. ABOVE FINISH FLOOR 1 WORK LEGEND NOTE

SIM. SIMILAR FIRE EXTINGUISHER & CABINET TYP. TYPICAL

### RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE

R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

CONSULTANTS

CLIFFORD LAMB \$ ASSOCIATES 201 PINEWOOD DRIVE TALLAHASSEE, FL 32303

(850) 385-2800 STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A TALLAHASSEE, FL 32308

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE

TALLAHASSEE, FL 32303

(850) 727-5367

(850) 224-7922



PH: (850) 385 9200 AR96289 MLDARCHITECTS.COM

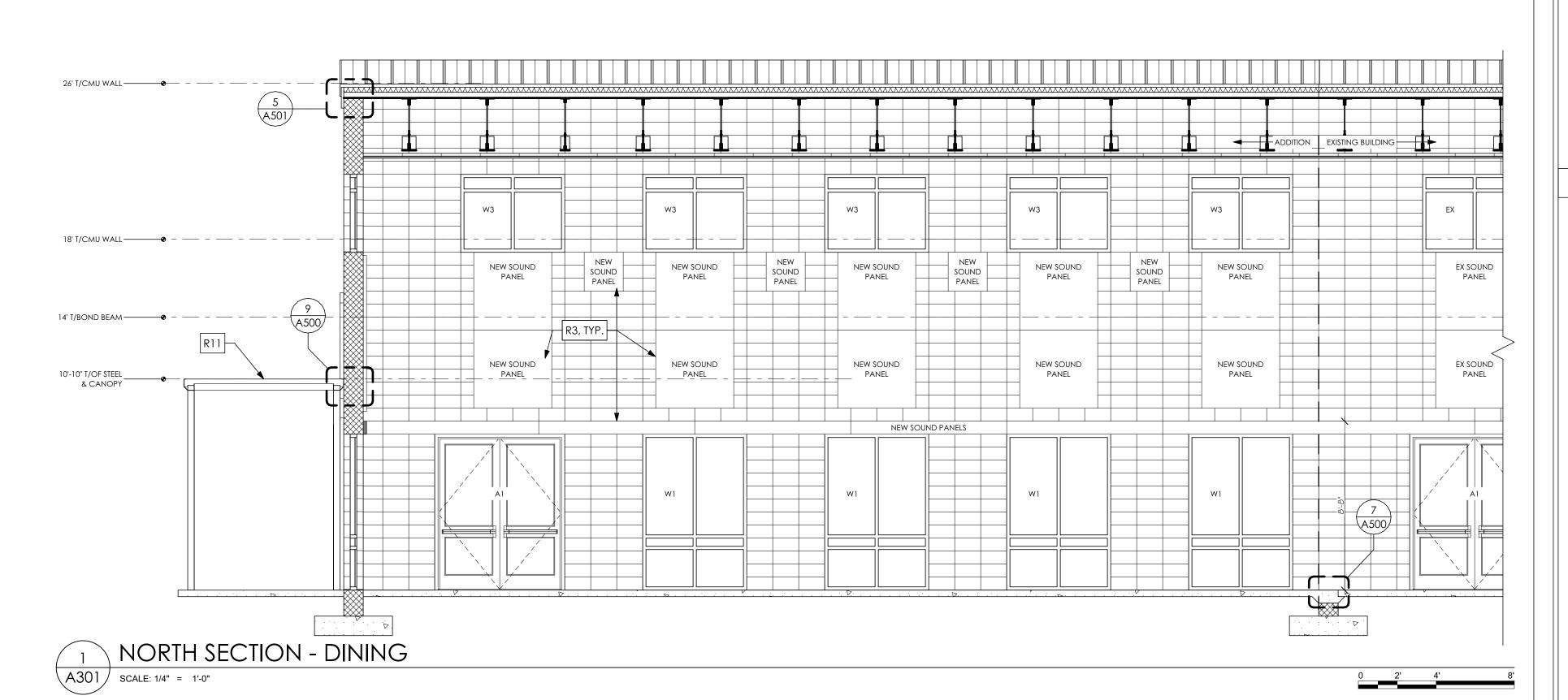
EE,

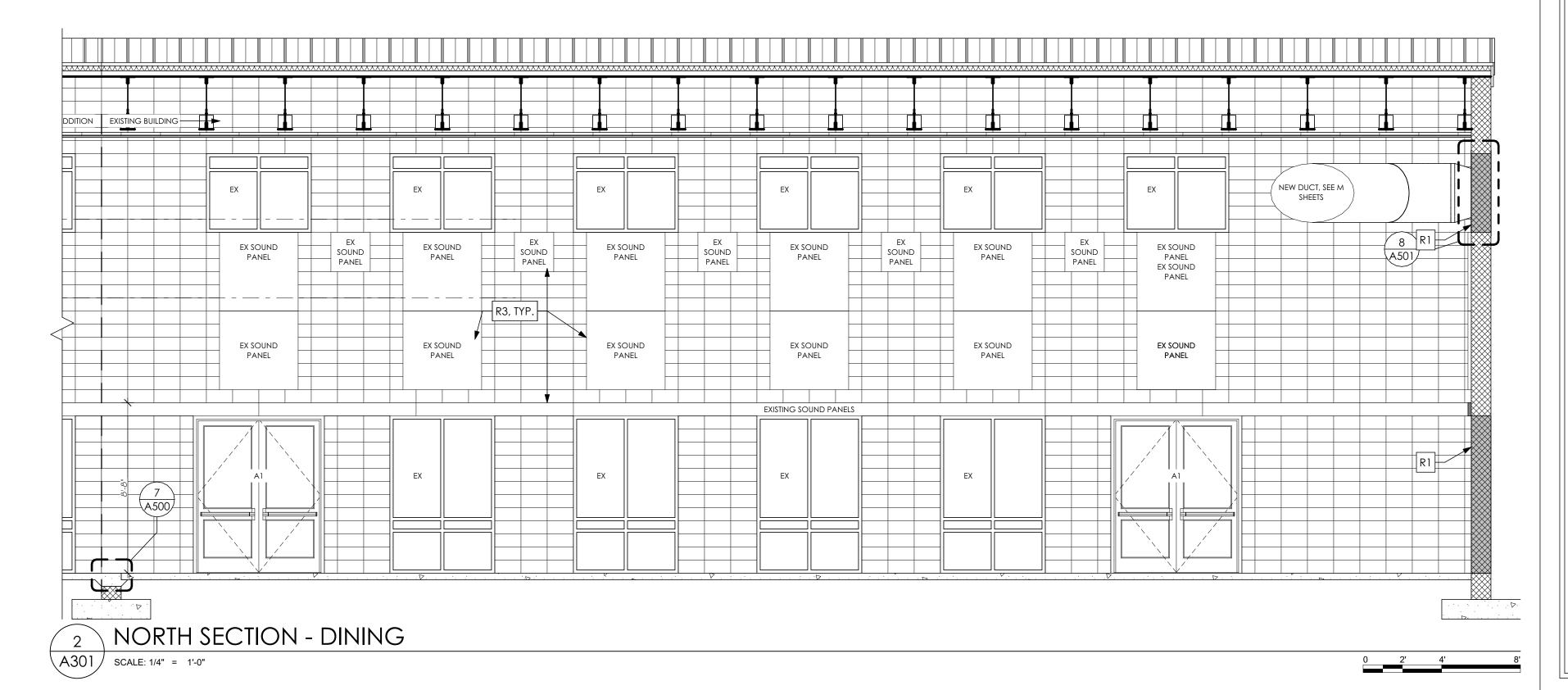
PHASE III 100% SUBMITTAL

PROJ. NO. 174324 04/02/2025 DRAWN CHECKED

APPROVED JS REVISION

REVISION DATE SECTIONS &





NEW DOOR, SEE DOOR EXISTING CMU WALL SCHEDULE, SHEET A000

REMOVED

SHEET AOOO

REMAIN

MIR. MIRROR

EXISTING DOOR TO

REMAIN

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

BE REMOVED

EXECUTION EXISTING CMU WALL TO BE REMOVED INFILLED SECTION OF WALL/ DOOR/ EXISTING DOOR TO BE

WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND

NEW CMU WALL; USE 8" FOR INTERIOR DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS EXISTING WINDOW TO BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

ROOM NAME \$ NUMBER ELEVATION/SECTION NUMBER A500 SHEET NUMBER N.I.C. NOT IN CONTRACT

A.F.F. ABOVE FINISH FLOOR WORK LEGEND NOTE

SIM. SIMILAR FIRE EXTINGUISHER & CABINET TYP. TYPICAL

### RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

R5 INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

R7 NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. MATCH EXISTING. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE

R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

CONSULTANTS

CLIFFORD LAMB \$ ASSOCIATES 201 PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800

STRUCTURAL

(850) 727-5367

PLUMBING

H2ENGINEERING, INC 114 E 5TH AVENUE TALLAHASSEE, FL 32303

(850) 224-7922

KEVER MCKEE ENGINEERING

TALLAHASSEE, FL 32308

1624 METROPOLITAN BLVD # A

MECHANICAL / ELECTRICAL /



TALLAHASSEE, FL 32303 PH: (850) 385 9200 AR96289

MLDARCHITECTS.COM

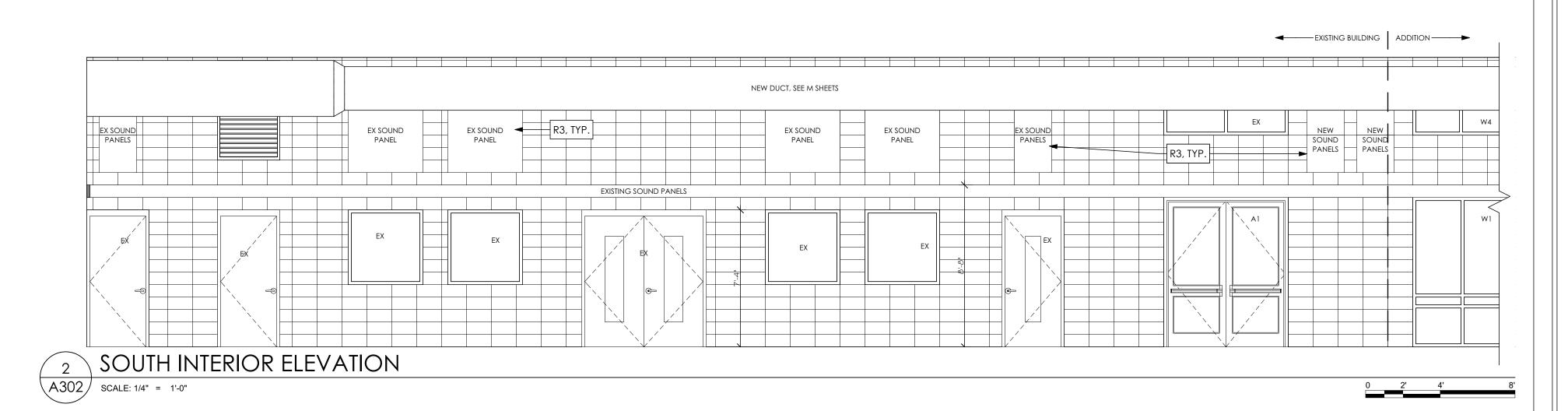
EE,

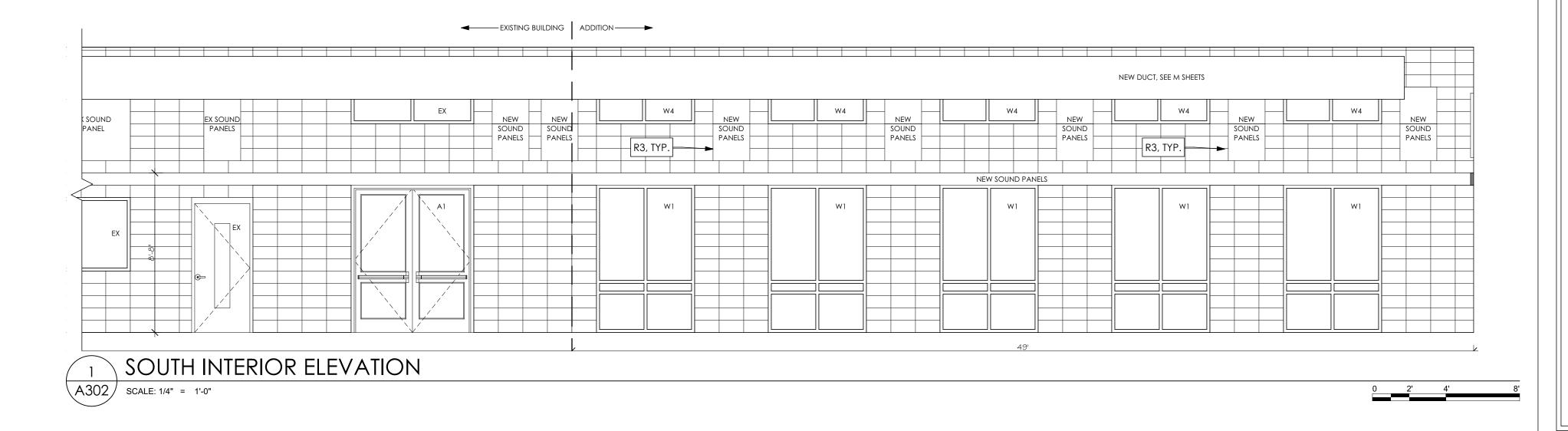
PHASE III 100% SUBMITTAL

PROJ. NO. 174324 DATE 04/02/2025 DRAWN CHECKED

APPROVED JS REVISION

REVISION DATE SECTIONS &





NEW DOOR, SEE DOOR EXISTING CMU WALL

REMOVED

SHEET AOOO

REMAIN

SCHEDULE, SHEET A000 EXISTING DOOR TO

EXISTING DOOR TO BE

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

BE REMOVED

A.F.F. ABOVE FINISH FLOOR

REMAIN

EXECUTION EXISTING CMU WALL TO BE REMOVED

INFILLED SECTION OF WALL/ DOOR/ WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND

NEW CMU WALL; USE 8" FOR INTERIOR DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS EXISTING WINDOW TO BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

ROOM NAME \$ NUMBER 1 \ ELEVATION/SECTION NUMBER A500 SHEET NUMBER N.I.C. NOT IN CONTRACT

1 WORK LEGEND NOTE

SIM. SIMILAR FIRE EXTINGUISHER & CABINET

TYP. TYPICAL MIR. MIRROR

### RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

R5 INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

R7 NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

R9 NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. MATCH EXISTING. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE A000.

R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

### CONSULTANTS

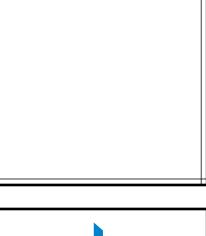
CLIFFORD LAMB \$ ASSOCIATES 201 PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A TALLAHASSEE, FL 32308

(850) 727-5367

(850) 224-7922

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE TALLAHASSEE, FL 32303





PH: (850) 385 9200

AR96289

MLDARCHITECTS.COM

EE,

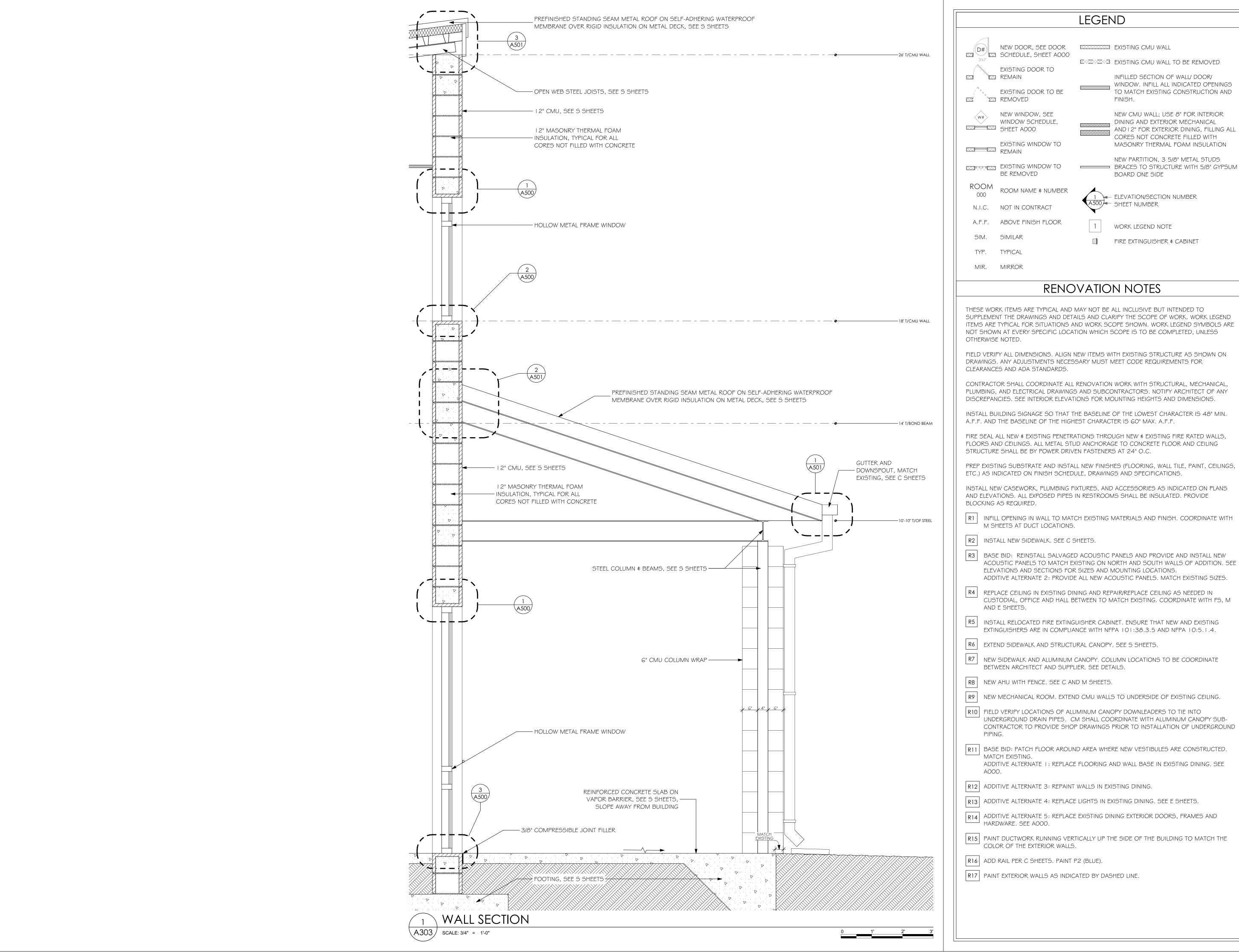
PHASE III 100% SUBMITTAL

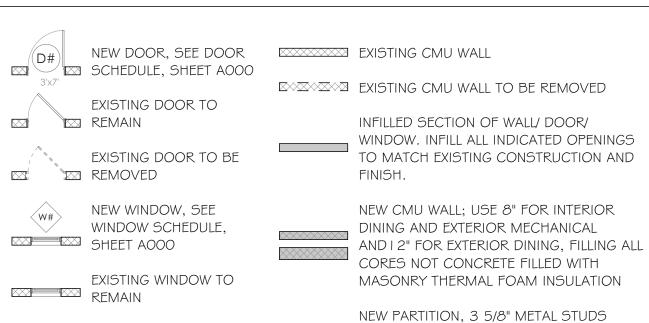
PROJ. NO. 174324 DATE 04/02/2025 DRAWN CHECKED

APPROVED JS REVISION

REVISION DATE

SECTIONS &





ROOM NAME \$ NUMBER

MIR. MIRROR

BE REMOVED

ELEVATION/SECTION NUMBER A500 SHEET NUMBER N.I.C. NOT IN CONTRACT A.F.F. ABOVE FINISH FLOOR

SIM. SIMILAR TYP. TYPICAL

RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

**BOARD ONE SIDE** 

WORK LEGEND NOTE

FIRE EXTINGUISHER & CABINET

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

- R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.
- R2 INSTALL NEW SIDEWALK. SEE C SHEETS.
- R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.
- R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.
- R5 INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.
- R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.
- R7 NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.
- R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.
- R9 NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.
- R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND
- R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. MATCH EXISTING. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE
- R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.
- R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.
- R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.
- R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.
- R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).
- R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

#### CONSULTANTS

CLIFFORD LAMB \$ ASSOCIATES 201 PINEWOOD DRIVE TALLAHASSEE, FL 32303

(850) 385-2800

(850) 727-5367

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A

TALLAHASSEE, FL 32308

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE

TALLAHASSEE, FL 32303

(850) 224-7922



PH: (850) 385 9200

MLDARCHITECTS.COM

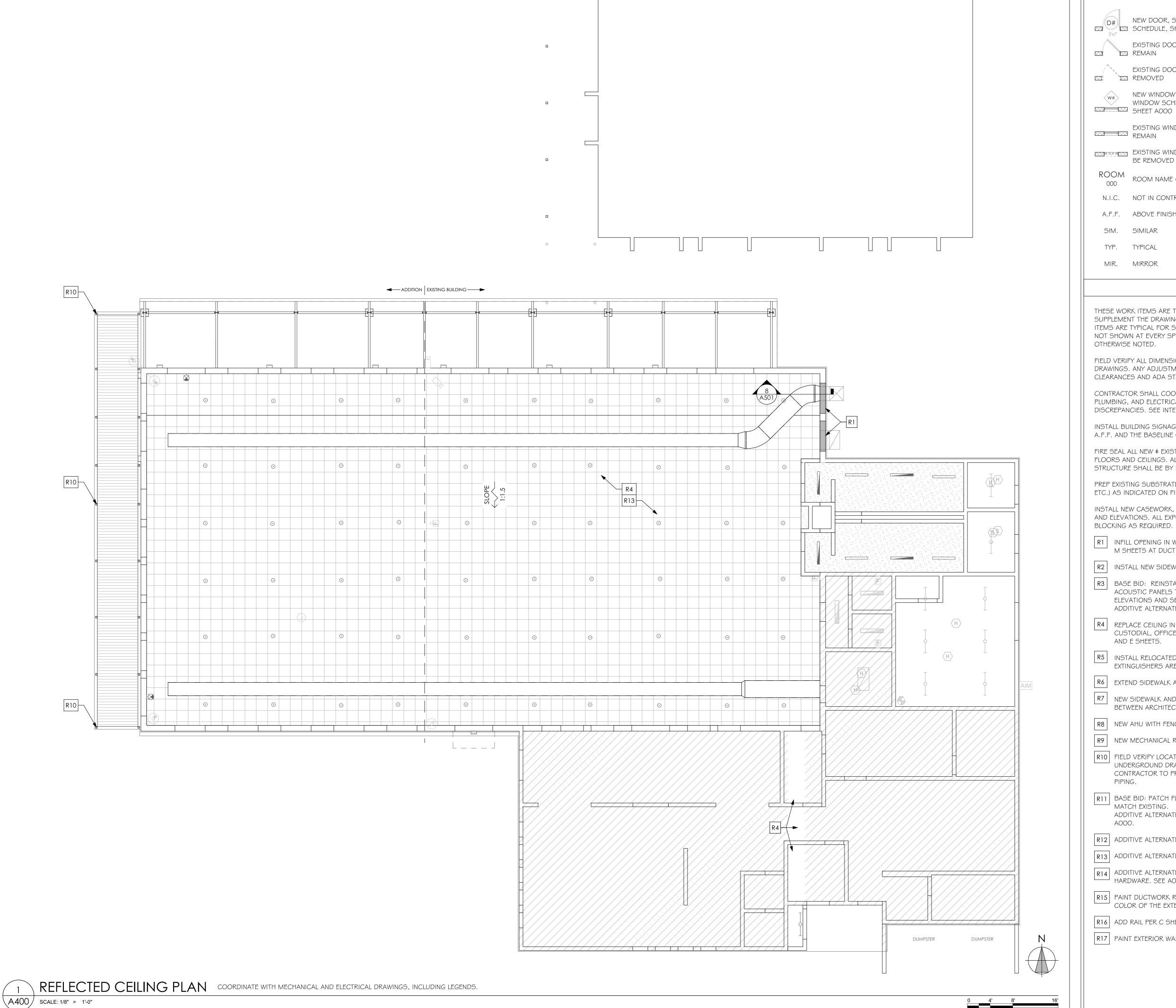
PHASE III 100% SUBMITTAL

PROJ. NO. <u>174324</u> DATE 04/02/2025 DRAWN CHECKED

APPROVED JS REVISION

REVISION DATE

WALL SECTIONS



NEW DOOR, SEE DOOR SCHEDULE, SHEET A000

EXISTING DOOR TO

NEW WINDOW, SEE

WINDOW SCHEDULE,

EXISTING WINDOW TO

EXECUTED EXISTING CMU WALL TO BE REMOVED EXISTING DOOR TO BE

INFILLED SECTION OF WALL/ DOOR/ WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND

EXISTING CMU WALL

NEW CMU WALL; USE 8" FOR INTERIOR DINING AND EXTERIOR MECHANICAL AND I 2" FOR EXTERIOR DINING, FILLING ALL CORES NOT CONCRETE FILLED WITH MASONRY THERMAL FOAM INSULATION

NEW PARTITION, 3 5/8" METAL STUDS EXISTING WINDOW TO BRACES TO STRUCTURE WITH 5/8" GYPSUM BOARD ONE SIDE

BE REMOVED ROOM NAME \$ NUMBER

ELEVATION/SECTION NUMBER A500 SHEET NUMBER

1 WORK LEGEND NOTE

FIRE EXTINGUISHER & CABINET

MIR. MIRROR

SIM. SIMILAR

N.I.C. NOT IN CONTRACT

A.F.F. ABOVE FINISH FLOOR

### RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

R7 NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

R9 NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE

R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE AOOO.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

#### CONSULTANTS

CLIFFORD LAMB & ASSOCIATES 20 | PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A

TALLAHASSEE, FL 32308

(850) 727-5367 MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC

114 E 5TH AVENUE TALLAHASSEE, FL 32303

(850) 224-7922



MLDARCHITECTS.COM

PHASE III 100% SUBMITTAL

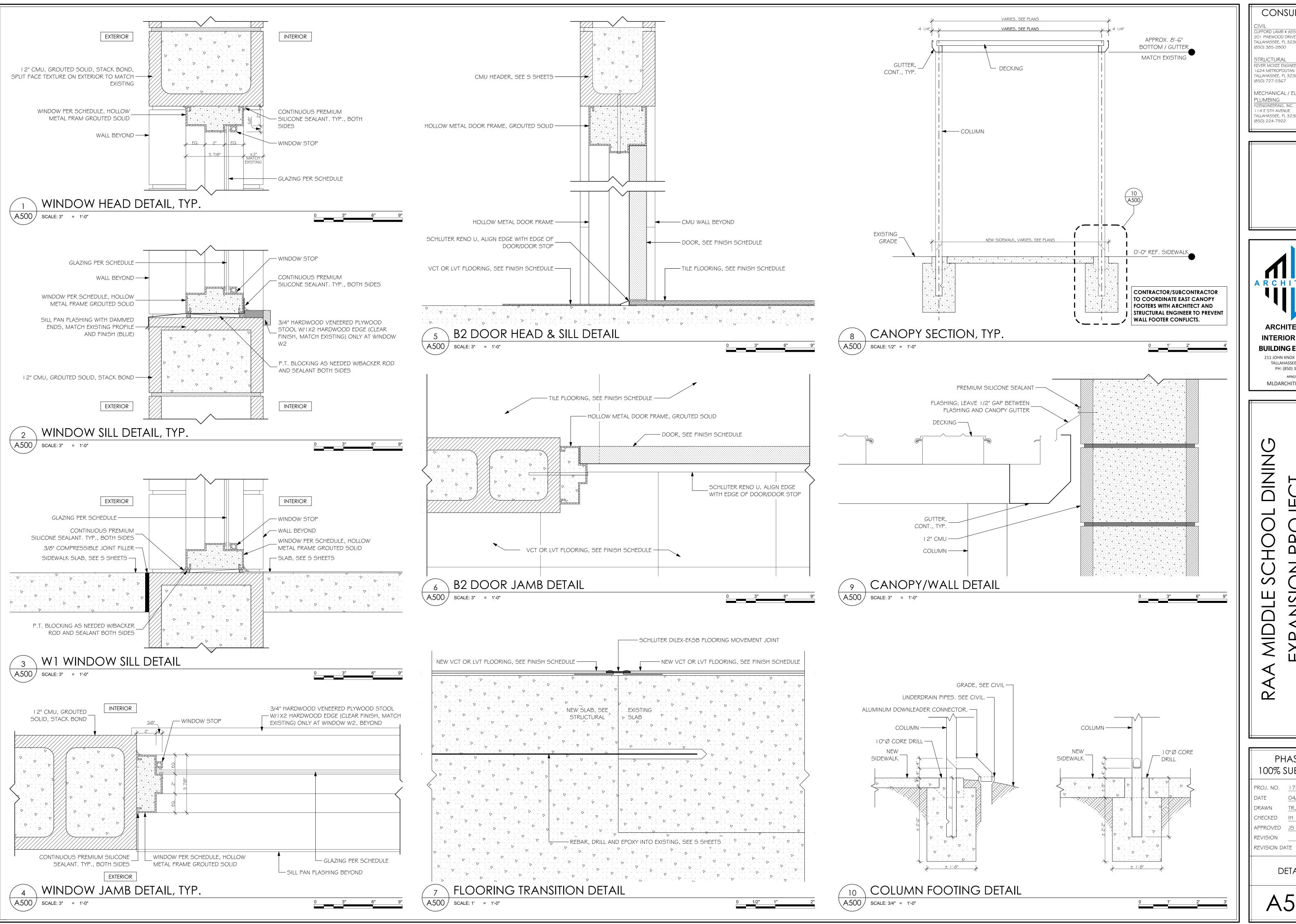
PROJ. NO. 174324 DATE 04/02/2025 DRAWN TR, RB

CHECKED IH APPROVED JS

REVISION REVISION DATE

CEILING PLAN

REFLECTED



CONSULTANTS CIVIL
CLIFFORD LAMB & ASSOCIATES

201 PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800 STRUCTURAL KEVER MCKEE ENGINEERING I 624 METROPOLITAN BLVD # A
TALLAHASSEE, FL 32308
(850) 727-5367

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC. 114 E 5TH AVENUE TALLAHASSEE, FL 32303



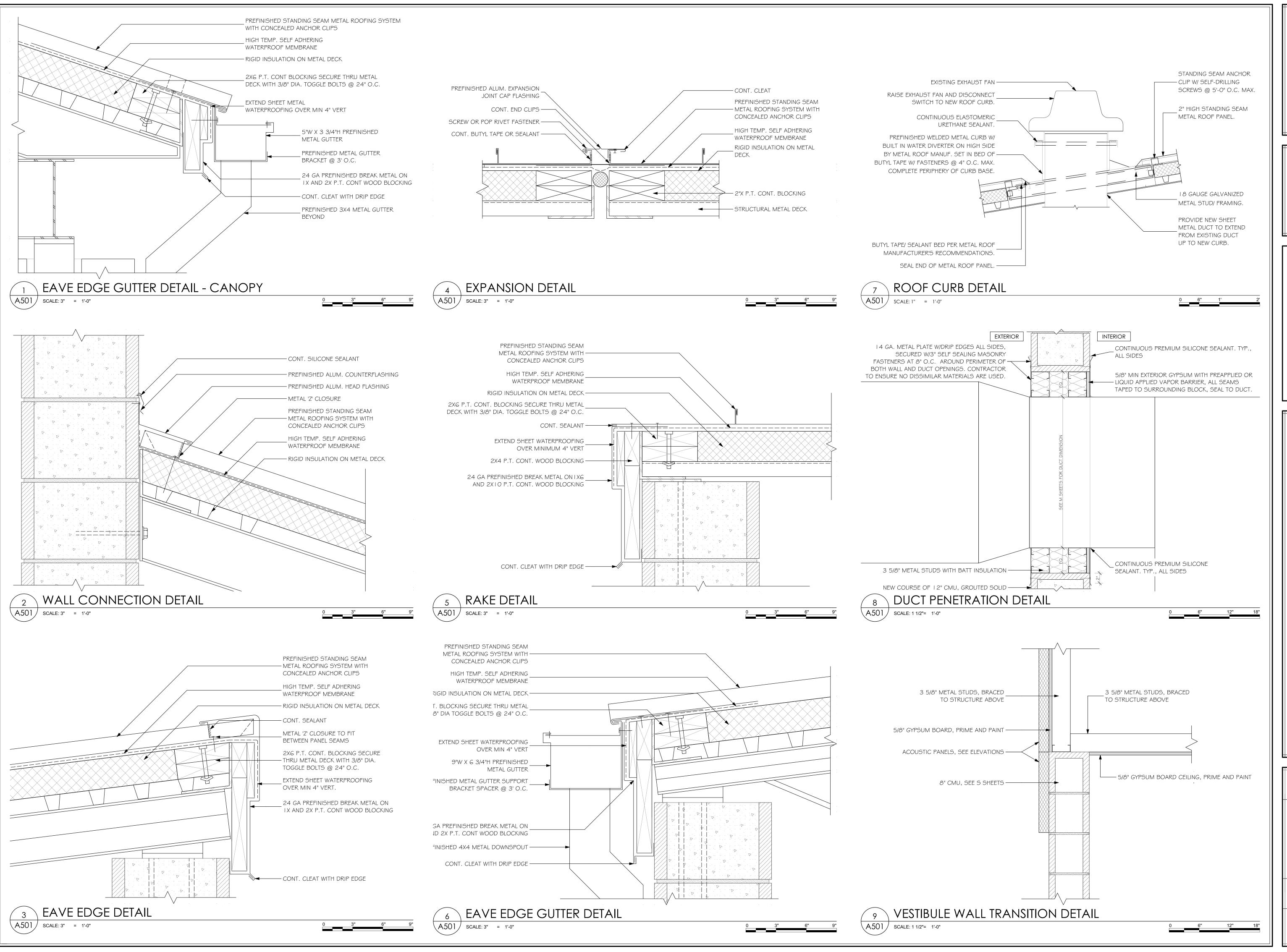
MLDARCHITECTS.COM

S S S S

PHASE III 100% SUBMITTAL

PROJ. NO. <u>174324</u> 04/02/2025 DRAWN CHECKED APPROVED JS REVISION

DETAILS



CONSULTANTS

CIVIL
CLIFFORD LAMB & ASSOCIATES
20 | PINEWOOD DRIVE
TALLAHASSEE, FL 32303
(850) 385-2800

STRUCTURAL
KEVER MCKEE ENGINEERING
1624 METROPOLITAN BLVD # A

1624 METROPOLITAN BLVD # A TALLAHASSEE, FL 32308 (850) 727-5367

MECHANICAL / ELECTRICAL /
PLUMBING
H2ENGINEERING, INC.
114 E 5TH AVENUE
TALLAHASSEE, FL 32303
(850) 224-7922

ARCHITECTURE
INTERIOR DESIGN
BUILDING ENVELOPE
211 JOHN KNOX RD, SUITE 105

TALLAHASSEE, FL 32303 PH: (850) 385 9200 AR96289 MLDARCHITECTS.COM

HOOL DINING PROJECT

EXPANSION PRO

PHASE III 100% SUBMITTAL

 PROJ. NO.
 174324

 DATE
 04/02/2025

 DRAWN
 TR, RB

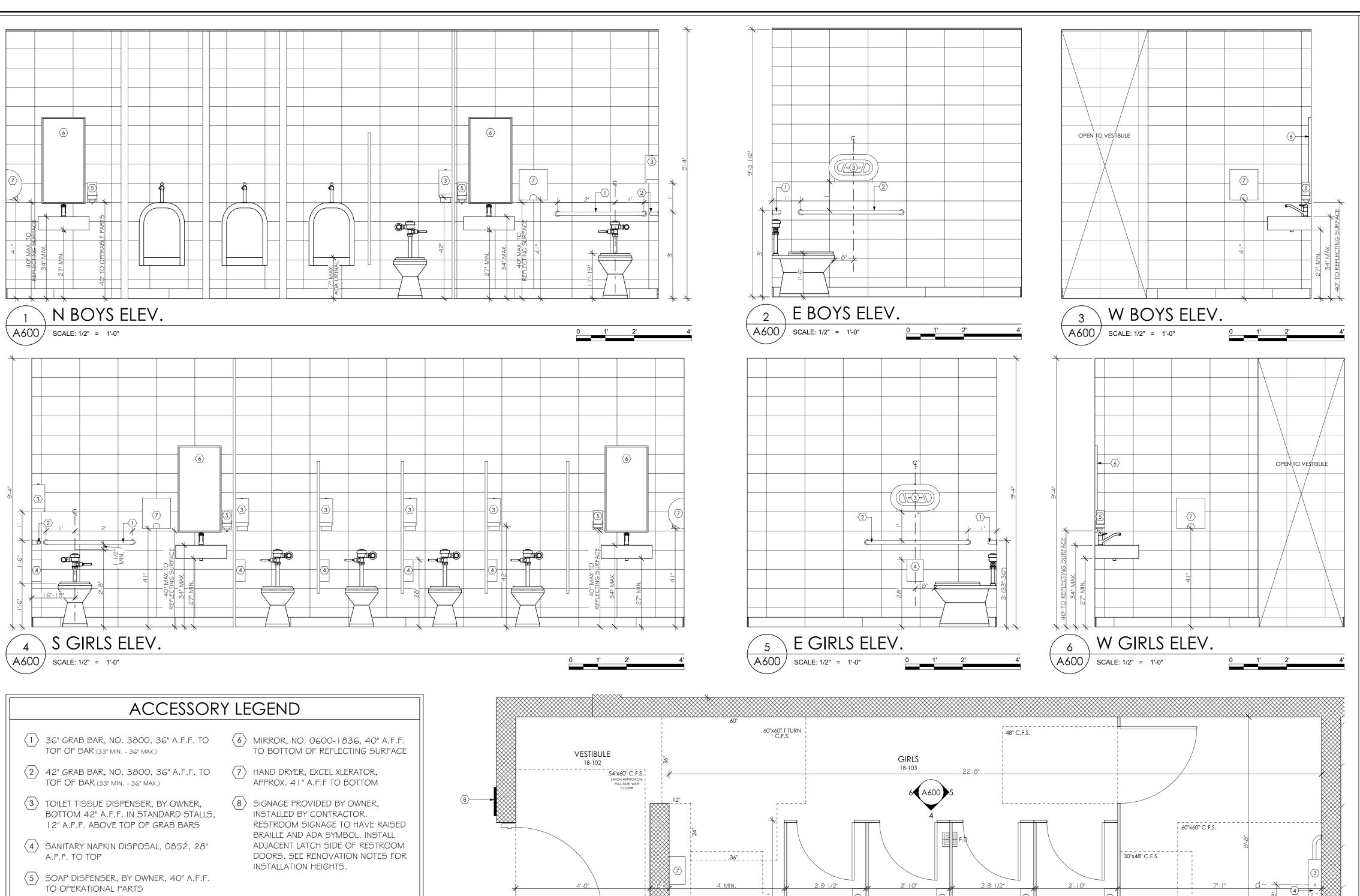
 CHECKED
 IH

 APPROVED
 JS

REVISION DATE

DETAILS

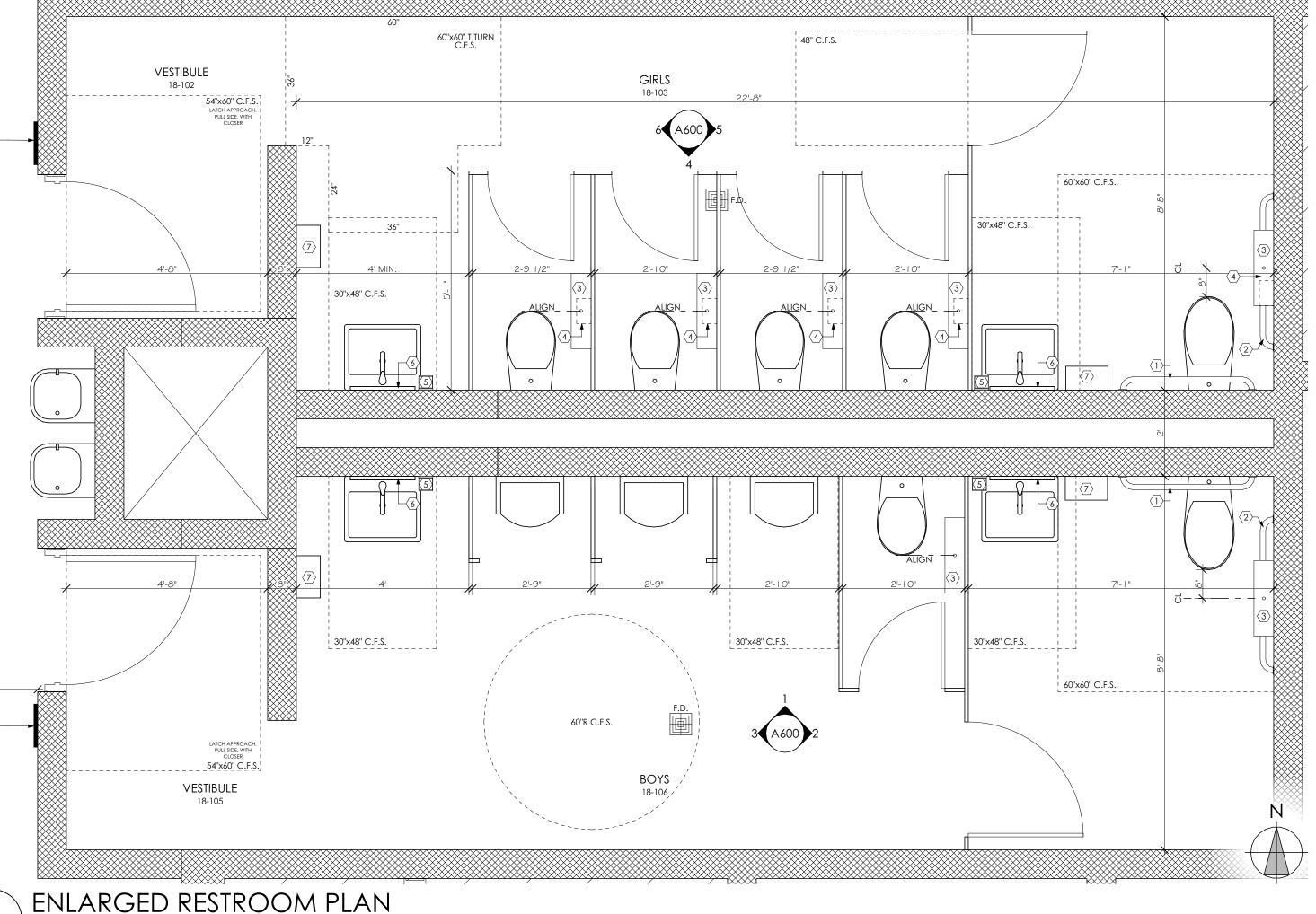
A501



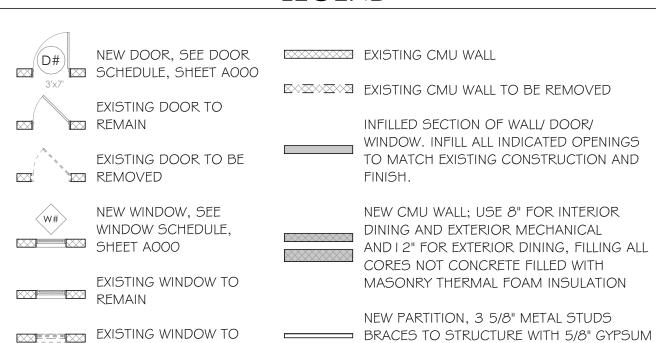
(A600) SCALE: 1/2" = 1'-0"

BASIS OF DESIGN: AMERICAN SPECIALTIES, INC UNLESS OTHERWISE SPECIFIED. ALL FINISHES

TO BE STANDARD SATIN FINISH. ALL EXPOSED PIPES IN ADA RESTROOM SHALL BE WRAPPED.



# LEGEND



BE REMOVED BOARD ONE SIDE ROOM NAME \$ NUMBER

ELEVATION/SECTION NUMBER A500 SHEET NUMBER A.F.F. ABOVE FINISH FLOOR

WORK LEGEND NOTE FIRE EXTINGUISHER & CABINET

TYP. TYPICAL MIR. MIRROR

SIM. SIMILAR

N.I.C. NOT IN CONTRACT

### RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

CONTRACTOR SHALL COORDINATE ALL RENOVATION WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SUBCONTRACTORS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DIMENSIONS.

INSTALL BUILDING SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS. ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C.

PREP EXISTING SUBSTRATE AND INSTALL NEW FINISHES (FLOORING, WALL TILE, PAINT, CEILINGS, ETC.) AS INDICATED ON FINISH SCHEDULE, DRAWINGS AND SPECIFICATIONS.

INSTALL NEW CASEWORK, PLUMBING FIXTURES, AND ACCESSORIES AS INDICATED ON PLANS AND ELEVATIONS. ALL EXPOSED PIPES IN RESTROOMS SHALL BE INSULATED. PROVIDE BLOCKING AS REQUIRED.

R1 INFILL OPENING IN WALL TO MATCH EXISTING MATERIALS AND FINISH. COORDINATE WITH M SHEETS AT DUCT LOCATIONS.

R2 INSTALL NEW SIDEWALK. SEE C SHEETS.

R3 BASE BID: REINSTALL SALVAGED ACOUSTIC PANELS AND PROVIDE AND INSTALL NEW ACOUSTIC PANELS TO MATCH EXISTING ON NORTH AND SOUTH WALLS OF ADDITION. SEE ELEVATIONS AND SECTIONS FOR SIZES AND MOUNTING LOCATIONS. ADDITIVE ALTERNATE 2: PROVIDE ALL NEW ACOUSTIC PANELS. MATCH EXISTING SIZES.

R4 REPLACE CEILING IN EXISTING DINING AND REPAIR/REPLACE CEILING AS NEEDED IN CUSTODIAL, OFFICE AND HALL BETWEEN TO MATCH EXISTING. COORDINATE WITH FS, M AND E SHEETS.

INSTALL RELOCATED FIRE EXTINGUISHER CABINET. ENSURE THAT NEW AND EXISTING EXTINGUISHERS ARE IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10:5.1.4.

R6 EXTEND SIDEWALK AND STRUCTURAL CANOPY. SEE S SHEETS.

NEW SIDEWALK AND ALUMINUM CANOPY. COLUMN LOCATIONS TO BE COORDINATE BETWEEN ARCHITECT AND SUPPLIER. SEE DETAILS.

R8 NEW AHU WITH FENCE. SEE C AND M SHEETS.

NEW MECHANICAL ROOM. EXTEND CMU WALLS TO UNDERSIDE OF EXISTING CEILING.

R10 FIELD VERIFY LOCATIONS OF ALUMINUM CANOPY DOWNLEADERS TO TIE INTO UNDERGROUND DRAIN PIPES. CM SHALL COORDINATE WITH ALUMINUM CANOPY SUB-CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION OF UNDERGROUND

R11 BASE BID: PATCH FLOOR AROUND AREA WHERE NEW VESTIBULES ARE CONSTRUCTED. MATCH EXISTING. ADDITIVE ALTERNATE I: REPLACE FLOORING AND WALL BASE IN EXISTING DINING. SEE

R12 ADDITIVE ALTERNATE 3: REPAINT WALLS IN EXISTING DINING.

R13 ADDITIVE ALTERNATE 4: REPLACE LIGHTS IN EXISTING DINING. SEE E SHEETS.

R14 ADDITIVE ALTERNATE 5: REPLACE EXISTING DINING EXTERIOR DOORS, FRAMES AND HARDWARE. SEE A000.

R15 PAINT DUCTWORK RUNNING VERTICALLY UP THE SIDE OF THE BUILDING TO MATCH THE COLOR OF THE EXTERIOR WALLS.

R16 ADD RAIL PER C SHEETS. PAINT P2 (BLUE).

R17 PAINT EXTERIOR WALLS AS INDICATED BY DASHED LINE.

CONSULTANTS

CLIFFORD LAMB \$ ASSOCIATES 20 | PINEWOOD DRIVE TALLAHASSEE, FL 32303 (850) 385-2800

STRUCTURAL KEVER MCKEE ENGINEERING 1624 METROPOLITAN BLVD # A TALLAHASSEE, FL 32308

MECHANICAL / ELECTRICAL / PLUMBING H2ENGINEERING, INC 114 E 5TH AVENUE

TALLAHASSEE, FL 32303

(850) 224-7922

(850) 727-5367



PH: (850) 385 9200

MLDARCHITECTS.COM

SSEE,

PHASE III 100% SUBMITTAL

PROJ. NO. 174324 DATE 04/02/2025 DRAWN CHECKED

APPROVED JS REVISION

REVISION DATE

INTERIOR